

Drain: PARKS AT SPRINGMILL DRAIN **Drain #:** 294
Improvement/Arm: PARK MEADOWS - SECTION 3
Operator: JDH **Date:** 2-19-04
Drain Classification: Urban/Rural **Year Installed:** 1994

GIS Drain Input Checklist

- Pull Source Documents for Scanning JJA 2-19
- Digitize & Attribute Tile Drains N/A
- Digitize & Attribute Storm Drains JJA 2-20
- Digitize & Attribute SSD JJA 2-20
- Digitize & Attribute Open Ditch N/A 2-20
- Stamp Plans JJA 2-20
- Sum drain lengths & Validate JJA 2-20
- Enter Improvements into Posse JJA 2-20
- Enter Drain Age into Posse July 3-2
- Sum drain length for Watershed in Posse July 3-2
- Check Database entries for errors JJA 2-20



7/26/96
9:05

SURVEYOR'S OFFICE

Hamilton County

Kenton C. Ward, Surveyor

Phone (317) 776-8495

Fax (317) 776-9628

Suite 146

One Hamilton County Square

Noblesville, Indiana 46060-2230

June 12, 1996

To: Hamilton County Drainage Board

Re: The Parks at Springmill Drain, Section 3, Park Meadow Arm

Attached is a petition, non-enforcement request, plans, calculations, quantity summary and assessment roll for the Park Meadow, Section 3, The Parks at Springmill Drain. I have reviewed the submittals and petition and have found each to be in proper form.

I have made a personal inspection of the land described in the petition. Upon doing so, I believe that the drain is practicable; will improve the public health; benefit a public highway and be of public utility; and that the costs, damages and expenses of the proposed drain will probably be less than the benefits accruing to the owners of land likely to be benefited. The drain will consist of the following:

6" SSD	2763 feet	18" RCP	1113 feet
12" RCP	269 feet	24" RCP	820 feet
15" RCP	196 feet	36" RCP	898 feet

The total length of the drain will be 6059 feet.

The retention pond (lake) located in Block E is not to be considered part of the regulated drain. Only the inlet and outlet will be maintained as part of the regulated drain. The maintenance of the pond (lake) will be the responsibility of the Homeowners Association. The Board will however, retain jurisdiction for ensuring the storage volume for which the lake was designed will be retained. Thereby, allowing no fill or easement encroachments.

The subsurface drains (SSD) to be part of the regulated drain are those located under the curbs and those main lines between lots or in rear yards. Only the main SSD lines which are located within the easement/right of way are to be maintained as regulated drain. Laterals for individual lots will not be considered part of the regulated drain. The portion of the SSD which will be regulated drain. The portion of the SSD which will be regulated other than those under curbs are as follows:

Rear Lots 17-20, 13-16, 29-32, 33-36 and 47 to 56.

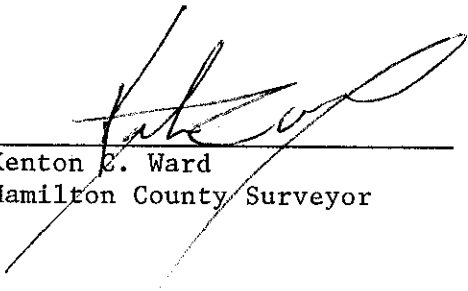
I have reviewed the plans and believe the drain will benefit each lot equally. Therefore, I recommend each lot be assessed equally. I also believe that no damages will result to landowners by the construction of this drain. I recommend a maintenance assessment of \$35.00 per lot, \$5.00 per acre for roadways, with a \$35.00 minimum. With this assessment the total annual assessment for this drain/this section will be \$ 2156.00

Parcels assessed for this drain may be assessed for the Collins-Osborn or Williams Creek Drain at sometime in the future.

I believe this proposed drain meets the requirements for Urban Drain Classification as set out in IC 36-9-27-67 to 69. Therefore, this drain shall be designated as an Urban Drain.

I recommend that upon approval of the above proposed drain that the Board also approve the attached non-enforcement request. This request is for the reduction of the regulated drain easement to those easement widths as shown on the secondary plat for The Parks at Springmill, Section 3, Park Meadows as recorded in the office of the Hamilton County Recorder.

I recommend the Board set a hearing for this proposed drain for ^{August} ~~July~~ 1996.



Kenton C. Ward
Hamilton County Surveyor

KCW/ndw

Released Exp. 2-21-96
3-27-2000

AIU Insurance Company
American Home Assurance Company
Granite State Insurance Company
The Insurance Company of the State of Pennsylvania
National Union Fire Insurance Company of Pittsburgh, Pa.
New Hampshire Insurance Company



American International Companies

Principal Bond Office
70 Pine Street, New York, N.Y. 10270

PERFORMANCE BOND (AIA 311)

KNOW ALL MEN BY THESE PRESENTS:

That CRIDER & CRIDER, INC., as Principal, and
AMERICAN HOME ASSURANCE COMPANY, as Surety, are held and firmly bound
unto HAMILTON COUNTY BOARD OF COMMISSIONERS, as Oblige, in the sum of
ONE HUNDRED THIRTY FIVE THOUSAND SIX HUNDRED SEVEN AND NO/100 Dollars

(\$ 135,607.00), for the payment of which sum, well and truly to be made, the Principal and Surety bind themselves, their heirs, executors, administrators, successors and assigns, jointly and severally, firmly by these presents.

WHEREAS, The Principal has entered into a written contract dated _____ with the Oblige for
PARK MEADOW PHASE 1 - STORM SEWERS AND EROSION CONTROL

NKA - Park Meadows Sec. 3 in accordance with drawings and specifications prepared by
Schneider Engineering Dated: 2/21/94

which contract is by reference made a part hereof, and is hereinafter referred to as the Contract.

NOW, THEREFORE, THE CONDITION OF THIS OBLIGATION is such that, if Contractor shall promptly and faithfully perform said Contract, then this obligation shall be null and void; otherwise it shall remain in full force and effect.

The Surety hereby waives notice of any alteration or extension of time made by the Owner.

Whenever Contractor shall be, and declared by Owner to be in default under the Contract, the Owner having performed Owner's obligations thereunder, the Surety may promptly remedy the default, or shall promptly -

1. Complete the Contract in accordance with its terms and conditions, or
2. Obtain a bid or bids for completing the Contract in accordance with its terms and conditions, and upon determination by Surety of the lowest responsible bidder, or, if the Owner elects, upon determination by the Owner and the Surety jointly of the lowest responsible bidder, arrange for a contract between such bidder and Owner, and make available as Work progresses (even though there should be a default or a succession of defaults under the contract or contracts of completion arranged under this paragraph) sufficient funds to pay the cost of completion less the balance of the contract price; but not exceeding, including other costs and damages for which the Surety may be liable hereunder, the amount set forth in the first paragraph hereof. The term "balance of the contract price," as used in this paragraph, shall mean the total amount payable by Owner to Contractor under the Contract and any amendments thereto, less the amount properly paid by Owner to Contractor.

Any suit under this bond must be instituted before the expiration of two (2) years from the date on which final payment under the Contract falls due.

No right of action shall accrue on this bond to or for the use of any person or corporation other than the Owner named herein or the heirs, executors, administrators or successors of Owner.

Signed, sealed and dated Aug. 24, 1994

Richard N. Rutigliano
(Witness)

CRIDER & CRIDER, INC.
(Principal) (Seal)
By Robert E. Crider Pres.
(Title)

AMERICAN HOME ASSURANCE COMPANY
(Surety)

Nick J. Rutigliano
NICK J. RUTIGLIANO
Attorney-in-Fact

Bond No. 11-60-24

**American Home Assurance Company
National Union Fire Insurance Company of Pittsburgh, Pa.**

Principal Bond Office: 70 Pine Street, New York, N.Y. 10270

POWER OF ATTORNEY

No. 02-B-34617

KNOW ALL MEN BY THESE PRESENTS:

That American Home Assurance Company, a New York corporation, and National Union Fire Insurance Company of Pittsburgh, Pa., a Pennsylvania corporation, does each hereby appoint

---Nick J. Rutigliano, Timothy J. Taylor: of Indianapolis, Indiana---

its true and lawful Attorney(s)-in-Fact, with full authority to execute on its behalf bonds, undertakings, recognizances and other contracts of indemnity and writings obligatory in the nature thereof, issued in the course of its business, and to bind the respective company thereby. It is agreed that the power and authority hereby given to the Attorney-in-Fact cannot be modified or revoked unless prior written personal notice of such intent has been given to the Commissioner - Department of Highways of the Commonwealth of Kentucky at least thirty (30) days prior to the modification or revocation

IN WITNESS WHEREOF, American Home Assurance Company and National Union Fire Insurance Company of Pittsburgh, Pa. have each executed these presents



this 16 day of September, 1991.

Mark E. Reagan
Mark E. Reagan, Senior Vice President

STATE OF NEW YORK }
COUNTY OF NEW YORK }ss.

On this 16 day of September, 1991, before me came the above named officer of American Home Assurance Company and National Union Fire Insurance Company of Pittsburgh, Pa., to me personally known to be the individual and officer described herein, and acknowledged that he executed the foregoing instrument and affixed the seals of said corporations thereto by authority of his office.

Joseph B. Nozzolio

JOSEPH B. NOZZOLIO
Notary Public, State of New York
No. 01-NO4652754
Qualified in Westchester County,
Term Expires Jan. 31, 1992

CERTIFICATE

Excerpts of Resolutions adopted by the Boards of Directors of American Home Assurance Company and National Union Fire Insurance Company of Pittsburgh, Pa. on May 18, 1976:

"RESOLVED, that the Chairman of the Board, the President, or any Vice President be, and hereby is, authorized to appoint Attorneys-in-Fact to represent and act for and on behalf of the Company to execute bonds, undertakings, recognizances and other contracts of indemnity and writings obligatory in the nature thereof, and to attach thereto the corporate seal of the Company, in the transaction of its surety business;

"RESOLVED, that the signatures and attestations of such officers and the seal of the Company may be affixed to any such Power of Attorney or to any certificate relating thereto by facsimile, and any such Power of Attorney or certificate bearing such facsimile signatures or facsimile seal shall be valid and binding upon the Company when so affixed with respect to any bond, undertaking, recognizance or other contract of indemnity or writing obligatory in the nature thereof;

"RESOLVED, that any such Attorney-in-Fact delivering a secretarial certification that the foregoing resolutions still be in effect may insert in such certification the date thereof, said date to be not later than the date of delivery thereof by such Attorney-in-Fact."

I, Elizabeth M. Tuck, Secretary of American Home Assurance Company and of National Union Fire Insurance Company of Pittsburgh, Pa. do hereby certify that the foregoing excerpts of Resolutions adopted by the Boards of Directors of these corporations, and the Powers of Attorney issued pursuant thereto, are true and correct, and that both the Resolutions and the Powers of Attorney are in full force and effect.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the facsimile seal of each corporation



this 24th day of August, 1994.

Elizabeth M. Tuck
Elizabeth M. Tuck, Secretary

AIU Insurance Company
 American Home Assurance Company
 Granite State Insurance Company
 The Insurance Company of the State of Pennsylvania
 National Union Fire Insurance Company of Pittsburgh, Pa.
 New Hampshire Insurance Company



American International Companies

Principal Bond Office
 70 Pine Street, New York, N.Y. 10270

LABOR & MATERIAL PAYMENT BOND

(AIA 311)

KNOW ALL MEN BY THESE PRESENTS:

That CRIDER & CRIDER, INC.
AMERICAN HOME ASSURANCE COMPANY, as Principal, and
HAMILTON COUNTY BOARD OF COMMISSIONERS, as Surety, are held and firmly bound
 unto HAMILTON COUNTY BOARD OF COMMISSIONERS, as Oblige, in the sum of
ONE HUNDRED THIRTY FIVE THOUSAND SIX HUNDRED SEVEN AND NO/100 Dollars
 (\$ 135,607.00).

for the payment of which sum, well and truly to be made, the Principal and Surety bind themselves, their heirs, executors, administrators, successors and assigns, jointly and severally, firmly by these presents

WHEREAS, The Principal has entered into a written contract dated _____ with the Oblige for PARK MEADOW PHASE I - STORM SEWERS AND EROSION CONTROL

in accordance with drawings and specifications prepared by Schneider Engineering Dated: 2/21/94 which contract is by reference made a part hereof, and is hereinafter referred to as the Contract.

NOW, THEREFORE, THE CONDITION OF THIS OBLIGATION is such that, if Principal shall promptly make payment to all claimants as hereinafter defined, for all labor and material used or reasonably required for use in the performance of the Contract, then this obligation shall be void; otherwise it shall remain in full force and effect, subject, however, to the following conditions:

1. A claimant is defined as one having a direct contract with the Principal or with a Subcontractor of the Principal for labor, material, or both, used or reasonably required for use in the performance of the Contract, labor and material being construed to include that part of water, gas, power, light, heat, oil, gasoline, telephone service or rental of equipment directly applicable to the Contract.
2. The above named Principal and Surety hereby jointly and severally agree with the Owner that every claimant as herein defined, who has not been paid in full before the expiration of a period of ninety (90) days after the date on which the last of such claimant's work or labor was done or performed, or materials were furnished by such claimant, may sue on this bond for the use of such claimant, prosecute the suit to final payment for such sum or sums as may be justly due claimant, and have execution thereon. The Owner shall not be liable for the payment of any costs or expenses of any such suit.
3. No suit or action shall be commenced hereunder by any claimant:
 - a) Unless claimant, other than one having a direct contract with the Principal, shall have given written notice to any two of the following: The Principal, the Owner, or the Surety above named, within ninety (90) days after such claimant did or performed the last of the work or labor, or furnished the last of the materials for which said claim is made, stating with substantial accuracy the amount claimed and the name of the party to whom the materials were furnished, or for whom the work or labor was done or performed. Such notice shall be served by mailing the same by registered mail or certified mail, postage prepaid, in an envelope addressed to the Principal, Owner or Surety, at any place where an office is regularly maintained for the transaction of business, or served in any manner in which legal process may be served in the state in which the aforesaid project is located, save that such service need not be made by a public officer.
 - b) After the expiration of one (1) year following the date on which Principal ceased Work on said Contract, it being understood, however, that if any limitation embodied in this bond is prohibited by any law controlling the construction hereof such limitation shall be deemed to be amended so as to be equal to the minimum period of limitation permitted by such law.
 - c) Other than in a state court of competent jurisdiction in and for the country or other political subdivision of the state in which the Project, or any part thereof, is situated, or in the United States District Court for the district in which the Project, or any part thereof, is situated, and not elsewhere.
4. The amount of this bond shall be reduced by and to the extent of any payment or payments made in good faith hereunder, inclusive of the payment by Surety of mechanics' liens which may be filed of record against said improvements, whether or not claim for the amount of such lien be presented under and against this bond.

Signed, sealed and dated Aug. 24, 1994

 Witness: _____

CRIDER & CRIDER, INC.
 (Principal) (Seal)
 By Robert E. Crider Pres.
 (Title)

AMERICAN HOME ASSURANCE COMPANY
 (Surety)

 NICK J. RUTIGLIANO Attorney In Fact

KNOW ALL MEN BY THESE PRESENTS:

That American Home Assurance Company, a New York corporation, and National Union Fire Insurance Company of Pittsburgh, Pa., a Pennsylvania corporation, does each hereby appoint

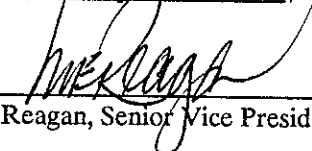
---Nick J. Rutigliano, Timothy J. Taylor: of Indianapolis, Indiana---

its true and lawful Attorney(s)-in-Fact, with full authority to execute on its behalf bonds, undertakings, recognizances and other contracts of indemnity and writings obligatory in the nature thereof, issued in the course of its business, and to bind the respective company thereby. It is agreed that the power and authority hereby given to the Attorney-in-Fact cannot be modified or revoked unless prior written personal notice of such intent has been given to the Commissioner - Department of Highways of the Commonwealth of Kentucky at least thirty (30) days prior to the modification or revocation

IN WITNESS WHEREOF, American Home Assurance Company and National Union Fire Insurance Company of Pittsburgh, Pa. have each executed these presents



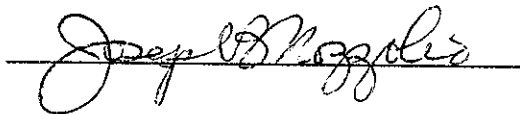
this 16 day of September, 1991.


Mark E. Reagan, Senior Vice President

STATE OF NEW YORK }
COUNTY OF NEW YORK}ss.

On this 16 day of September, 1991.

before me came the above named officer of American Home Assurance Company and National Union Fire Insurance Company of Pittsburgh, Pa., to me personally known to be the individual and officer described herein, and acknowledged that he executed the foregoing instrument and affixed the seals of said corporations thereto by authority of his office.



JOSEPH B. NOZZOLIO
Notary Public, State of New York
No. 01-NO4652754
Qualified in Westchester County,
Term Expires Jan. 31, 1992

CERTIFICATE

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"RESOLVED, that the signatures and attestations of such officers and the seal of the Company may be affixed to any such Power of Attorney or to any certificate relating thereto by facsimile, and any such Power of Attorney or certificate bearing such facsimile signatures or facsimile seal shall be valid and binding upon the Company when so affixed with respect to any bond, undertaking, recognizance or other contract of indemnity or writing obligatory in the nature thereof;

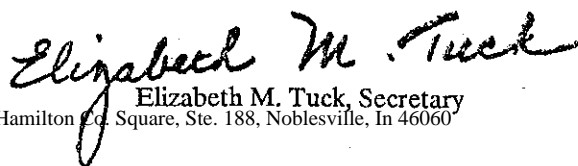
"RESOLVED, that any such Attorney-in-Fact delivering a secretarial certification that the foregoing resolutions still be in effect may insert in such certification the date thereof, said date to be not later than the date of delivery thereof by such Attorney-in-Fact."

I, Elizabeth M. Tuck, Secretary of American Home Assurance Company and of National Union Fire Insurance Company of Pittsburgh, Pa. do hereby certify that the foregoing excerpts of Resolutions adopted by the Boards of Directors of these corporations, and the Powers of Attorney issued pursuant thereto, are true and correct, and that both the Resolutions and the Powers of Attorney are in full force and effect.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the facsimile seal of each corporation



this 24th day of August, 1994.


Elizabeth M. Tuck, Secretary

CERTIFICATE OF COMPLETION AND COMPLIANCE

TO: HAMILTON COUNTY SURVEYOR

RE: The Parks at Springmill Section 3 (Park Meadow)

I hereby certify that:

- 1.) I am a Registered Engineer in the State of Indiana,
- 2.) I am familiar with the plans and specifications for the above referenced subdivision,
- 3.) I have personally observed and supervised the completion of the Drainage Facilities for the above referenced subdivision, and
- 4.) To the best of my knowledge, information and belief, the Drainage Facilities within the subdivision has been installed and completed in conformity with all plans and specifications.

Signature: _____

Date: November 15, 1995

Type or Printed Name: Paul G. Claire

Business Address: Schneider Engineering Corporation

3020 North Post Road, Indianapolis, IN 46226

Telephone: (317) 898-8282

INDIANA REGISTRATION NUMBER

890267

SEAL

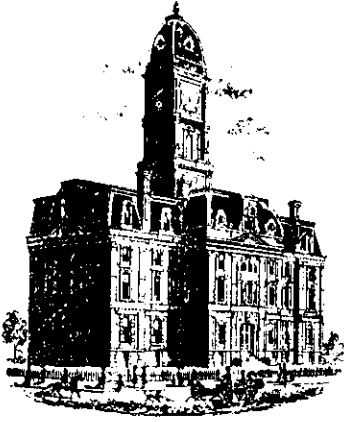


FILED

NOV 20 1995

HAMILTON COUNTY DRAINAGE BOARD

SECRETARY



SURVEYOR'S OFFICE

Hamilton County

Kenton C. Ward, Surveyor

Phone (317) 776-8495

Fax (317) 776-9628

Suite 146

One Hamilton County Square

Noblesville, Indiana 46060-2230

To: Hamilton County Drainage Board

March 27, 2000

Re: Parks @ Springmill: Park Meadows Sec. 3

Attached are as-builts, certificate of completion & compliance, and other information for Park Meadows Section 3. An inspection of the drainage facilities for this section has been made and the facilities were found to be complete and acceptable.

During construction, changes were made to the drain which will alter the plans submitted with my report for this drain dated June 12, 1996. The changes are as follows:

Structure: T.C.: I.E.: Pipe: Length: Original Plans: Difference:

116	872.51	867.56				
137	872.92	868.42	15	73.6	76	-2.4
137	872.92	868.47				
138	872.8	869.12	12	31.3	30	1.3
113	870.17	866				
115	870.05	866.11	24	30.4	30	0.4
117	872.55	868.89				
116	872.51	868.52	12	31.3	30	1.3
116	872.51	867.26				
112	871.82	865.87	18	129.2	130	-0.8
112	871.82	865.68				
113	870.17	866	24	106.2	106	0.2
113	870.17	866				
114	869.7	866.45	24	49.5	50	-0.5
110		863.84				
111	869.1	864.73	36	229.1	218	11.1
111	869.1	864.73				
112	871.82	865.32	36	295.7	297	-1.3
112	871.82	865.82				
139	872.99	866.41	24	129.3	131	-1.7
125	874.61	871.17				

124	874.45	871.01	12	30	30	
124	874.45	870.86				
123	871.33	868.99	12	128.2	129	-0.8
123	871.33	868.98				
122	871.52	868.67	18	15.3	14	1.3
122	871.52	868.67				
121	870.91	867.7	18	142.5	143	-0.5
121	870.91	867.63				
120	870.86	867.36	18	30.1	30	0.1
120	870.86	867.25				
111	869.1	866.2	18	130.5	130	0.5
118		863.73				
119	869.37	864.92	18	172.8	156	16.8
106		863.7				
107	868.35	863.85	18	48.7	35	13.7
107	868.35	863.85				
108	867.59	864.27	18	85	86	-1
108	867.59	864.27				
109	867.6	864.79	18	29.9	30	-0.1
endsection-str 174			18	0	30	-30
174	868.26	865.41				
173	866.99	863.39	18	126.4	125	1.4
171		863.88				
172	867.14	863.74	24	78.2	61	17.2
172	867.14	863.79				
173	866.99	863.39	24	82.2	82	0.2
173	866.99	863.39				
175		862.4	24	394	400	-6
Endsection		864.28				
178	866.54	863.34	15	47	30	17
178	866.54	863.34				
177	866.56	862.51	15	33.9	30	3.9
177	866.56	862.51				
176		862.1	15	59	60	-1
133A		873.39				
133	878.34	873.29	18	12	10	2
133	878.34	873.29				
134	877.35	873.8	18	111	113	-2
134	877.35	873.8				
135	877.39	873.85	18	43.4	42	1.4
135	877.39	873.85				
136	877.23	874.13	18	36.7	36	0.7
130	871.51	865.28				
129	873.32	864.63	36	167.8	170	-2.2
129	873.32	864.27				
128	872.93	864.43	36	26.2	22	4.2

128	872.93	864.43				
127	872.97	864.4	36	31.1	30	1.1
127	872.97	864.37				
126		863.88	36	161.5	151	10.5

6" SSD Streets:

Pokagon Drive	500
Dunes Drive	235
Shakamac Drive	970

Total: 1705

6" SSD Lots:

17-20,13-16	225
29-32,33-36	225
47-56	689.45

Total: 1139.45

RCP Pipe Totals:

12	220.8
15	213.5
18	1113.5
24	869.8
36	911.4

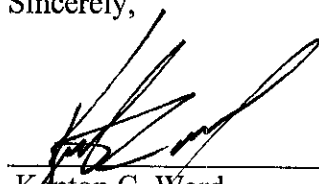
The length of the drain due to the changes described above is now **6,173 feet**.

The non-enforcement was approved by the Board at its meeting on August 26, 1996 and recorded under instrument #9609654244.

The bond or letter of credit from American Home Assurance Company, number 116024; in the amount of \$135,607.00; was released March 27, 2000.

I recommend the Board approve the drains construction as complete and acceptable.

Sincerely,



Kenton C. Ward,
Hamilton County Surveyor

KCW/slm

THE PARKS AT SPRINGMILL

SECTION 3 (PARK MEADOW) SECONDARY PLAT PART OF THE N.W.1/4 SECTION 26-T18N-R3E HAMILTON COUNTY, INDIANA

DATE OF SUBMISSION: FEBRUARY 21, 1994
DATE OF APPROVAL: April 12, 1994

OWNER/SUBDIVIDER
ESTRIDGE DEVELOPMENT COMPANY
1041 WEST MAIN STREET
CARMEL, INDIANA 46032
(317) 582-2456

SURVEYOR
SCHNEIDER ENGINEERING CORP.
3020 NORTH POST RD.
INDIANAPOLIS, IN. 46226
(317) 898-8282

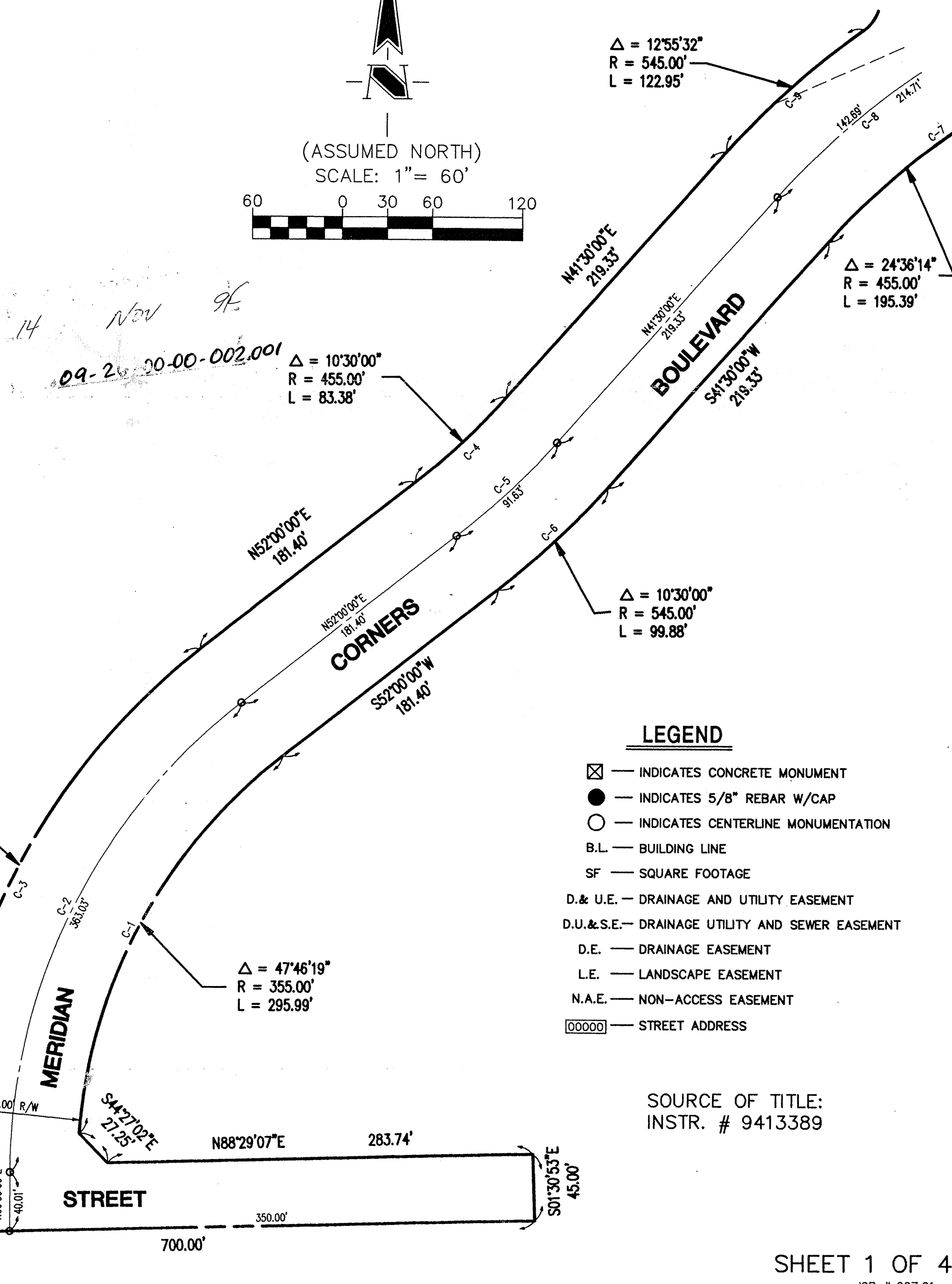
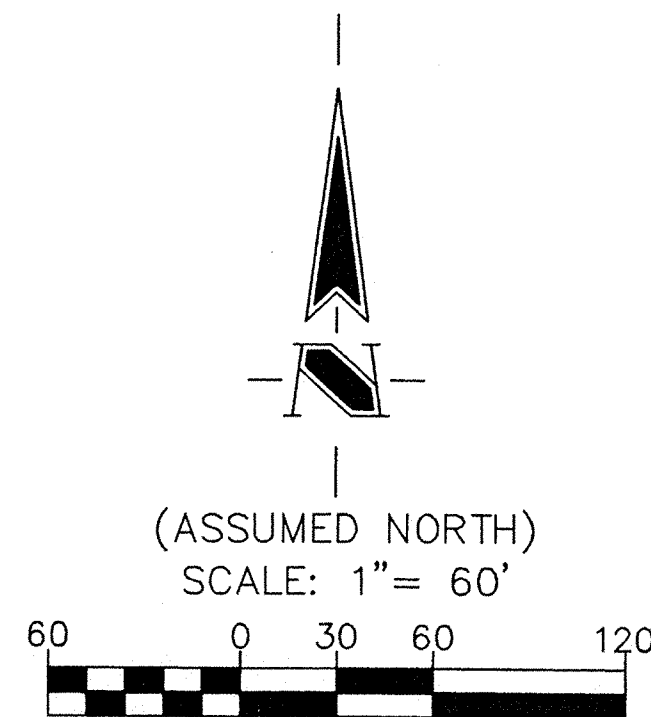
THIS INSTRUMENT WAS PREPARED
BY GARY R. KENT
REGISTERED LAND SURVEYOR-INDIANA #50386
3020 NORTH POST ROAD
INDIANAPOLIS, INDIANA 46226
TELEPHONE (317) 898-8282

Instrument No. 9447037
P.C. No. 1 Slide No. 422

RECEIVED
FOR RECORD
94 NOV 14 AM 11:48
SHARON L. CHERRY
REGISTERED CLERK
HAMILTON CO. IN

CURVE DATA TABLE

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C-1	355.00'	295.99'	157.21'	287.49'	N28°06'50"E	47°46'19"
C-2	400.00'	363.03'	195.09'	350.70'	N26°00'00"E	52°00'00"
C-3	445.00'	380.06'	202.49'	368.61'	N27°31'59"E	48°56'02"
C-4	455.00'	83.38'	41.81'	83.27'	N46°45'00"E	10°30'00"
C-5	500.00'	91.63'	45.94'	91.50'	N46°45'00"E	10°30'00"
C-6	545.00'	99.88'	50.08'	99.74'	N46°45'00"E	10°30'00"
C-7	455.00'	195.39'	99.22'	193.89'	N53°48'07"E	24°36'14"
C-8	500.00'	214.71'	109.04'	213.06'	N53°48'07"E	24°36'14"
C-9	545.00'	122.95'	61.74'	122.69'	S47°57'46"W	12°55'32"
C-10	455.00'	142.30'	71.73'	141.72'	N57°08'40"E	17°55'08"
C-11	500.00'	156.37'	78.83'	155.74'	N57°08'40"E	17°55'08"
C-12	545.00'	170.44'	85.92'	169.75'	N57°08'40"E	17°55'08"
C-13	455.00'	142.30'	71.73'	141.72'	N57°08'40"E	17°55'08"
C-14	500.00'	156.37'	78.83'	155.74'	N57°08'40"E	17°55'08"
C-15	545.00'	170.44'	85.92'	169.75'	N57°08'40"E	17°55'08"
C-16	90.00'	70.52'	37.18'	68.73'	S01°26'53"E	44°53'46"
C-17	115.00'	55.23'	28.16'	54.70'	N07°14'29"E	27°31'01"
C-18	175.00'	111.54'	57.74'	109.66'	N03°44'51"W	36°31'05"
C-19	200.00'	134.07'	69.66'	131.57'	N04°41'32"W	38°24'28"
C-20	325.00'	198.53'	102.47'	195.46'	N03°30'00"E	35°00'00"
C-21	350.00'	213.80'	110.35'	210.49'	N03°30'00"E	35°00'00"
C-22	375.00'	186.61'	95.28'	184.69'	N00°15'21"E	28°30'42"
C-23	375.00'	65.45'	32.81'	65.37'	N19°00'00"W	10°00'00"
C-24	400.00'	69.81'	35.00'	69.72'	N19°00'00"W	10°00'00"
C-25	425.00'	74.18'	37.18'	74.08'	N19°00'00"W	10°00'00"
C-26	575.00'	60.21'	30.13'	60.19'	N27°00'00"W	06°00'00"
C-27	600.00'	62.83'	31.44'	62.80'	S27°00'00"E	06°00'00"
C-28	625.00'	34.77'	17.39'	34.76'	N25°35'37"W	03°11'14"
C-29	1175.00'	102.54'	51.30'	102.51'	N57°30'00"E	05°00'00"
C-30	1200.00'	104.72'	52.39'	104.69'	N57°30'00"E	05°00'00"
C-31	1225.00'	106.90'	53.48'	106.87'	N57°30'00"E	05°00'00"
C-32	1225.00'	32.07'	16.04'	32.07'	N54°15'00"E	01°30'00"
C-33	1200.00'	31.42'	15.71'	31.42'	N54°15'00"E	01°30'00"
C-34	1175.00'	30.76'	15.38'	30.76'	N54°15'00"E	01°30'00"
C-35	1060.00'	152.16'	76.21'	152.03'	S28°06'45"E	08°13'30"
C-36	1085.00'	208.31'	104.47'	207.99'	N29°30'00"W	11°00'00"
C-37	1110.00'	164.08'	82.19'	163.93'	S28°14'05"E	08°28'10"
C-38	125.00'	196.35'	125.00'	176.78'	S69°00'00"E	90°00'00"
C-39	150.00'	235.62'	150.00'	212.13'	S69°00'00"E	90°00'00"
C-40	175.00'	274.89'	175.00'	247.49'	S69°00'00"E	90°00'00"



PLAN COMMISSION: UNDER AUTHORITY PROVIDED BY TITLE 36, ACTS OF 1981, P.L. 309 ENACTED BY THE GENERAL ASSEMBLY OF THE STATE OF INDIANA AND ALL ACTS AMENDATORY OR SUPPLEMENTARY THERETO, AND AN ORDINANCE ADOPTED BY THE COMMON COUNCIL OF THE CITY OF CARMEL, AS FOLLOWS:
ADOPTED BY THE CARMEL PLAN COMMISSION AT A MEETING HELD April 12, 1994

CARMEL/CLAY PLAN COMMISSION
BY: _____
DIRECTOR
DEPARTMENT OF COMMUNITY DEVELOPMENT
CARMEL, INDIANA

This plat is subject to Panhandle Eastern Pipeline Company easement (M.R. 36, PG. 401-407).
This blanket easement is to be release at a later date.

- #### LEGEND
- ☒ — INDICATES CONCRETE MONUMENT
 - — INDICATES 5/8" REBAR W/CAP
 - — INDICATES CENTERLINE MONUMENTATION
 - B.L. — BUILDING LINE
 - SF — SQUARE FOOTAGE
 - D. & U.E. — DRAINAGE AND UTILITY EASEMENT
 - D.U. & S.E. — DRAINAGE UTILITY AND SEWER EASEMENT
 - D.E. — DRAINAGE EASEMENT
 - L.E. — LANDSCAPE EASEMENT
 - N.A.E. — NON-ACCESS EASEMENT
 - 00000 — STREET ADDRESS

SOURCE OF TITLE:
INSTR. # 9413389

This information was gathered for input into the Hamilton County Geographical Information System. This document is considered an official record of the GIS.

Entry Date: 2-20-04

Entered by: JOH

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FILED
JAN 07 2000
OFFICE OF HAMILTON COUNTY SURVEYOR

THE PARKS AT SPRINGMILL

SECTION 3 (PARK MEADOW) SECONDARY PLAT PART OF THE N.W.1/4 SECTION 26-T18N-R3E HAMILTON COUNTY, INDIANA

DATE OF SUBMISSION: FEBRUARY 21, 1994
DATE OF APPROVAL: April 12, 1994

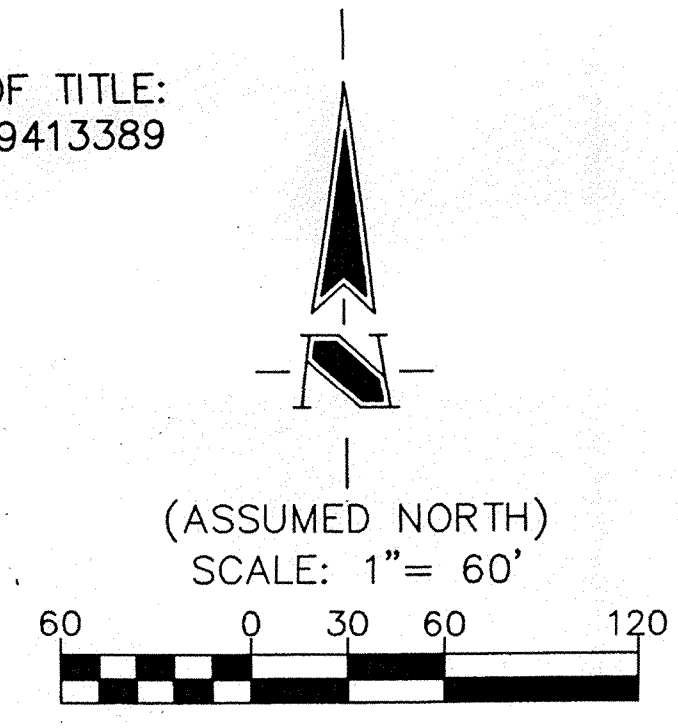
OWNER/SUBDIVIDER
ESTRIDGE DEVELOPMENT COMPANY
1041 WEST MAIN STREET
CARMEL, INDIANA 46032
(317) 582-2456

SURVEYOR
SCHNEIDER ENGINEERING CORP.
3020 NORTH POST RD.
INDIANAPOLIS, IN. 46226
(317) 898-8282

THIS INSTRUMENT WAS PREPARED
BY GARY R. KENT
REGISTERED LAND SURVEYOR-INDIANA #50386
3020 NORTH POST ROAD
INDIANAPOLIS, INDIANA 46226
TELEPHONE (317) 898-8282

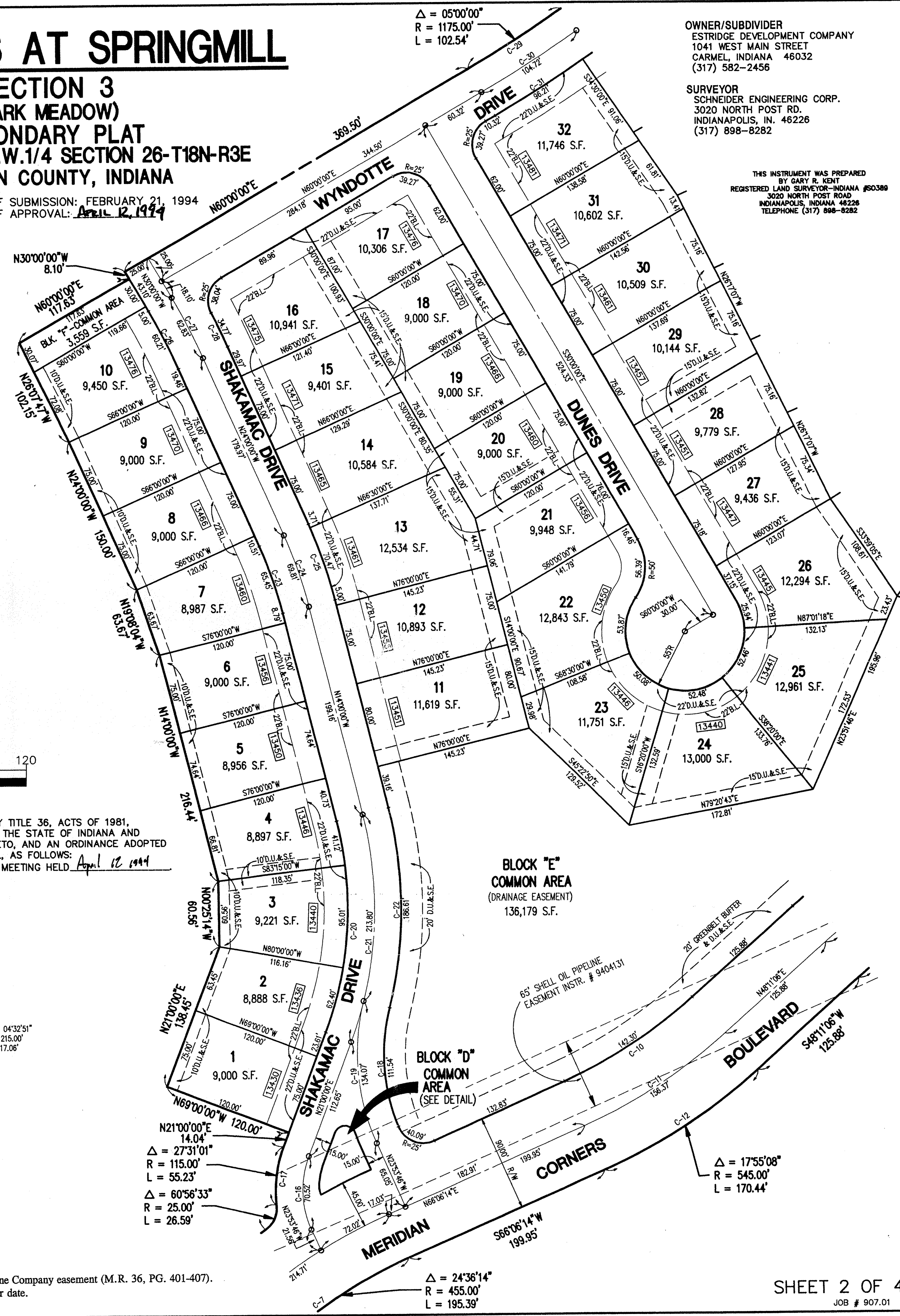
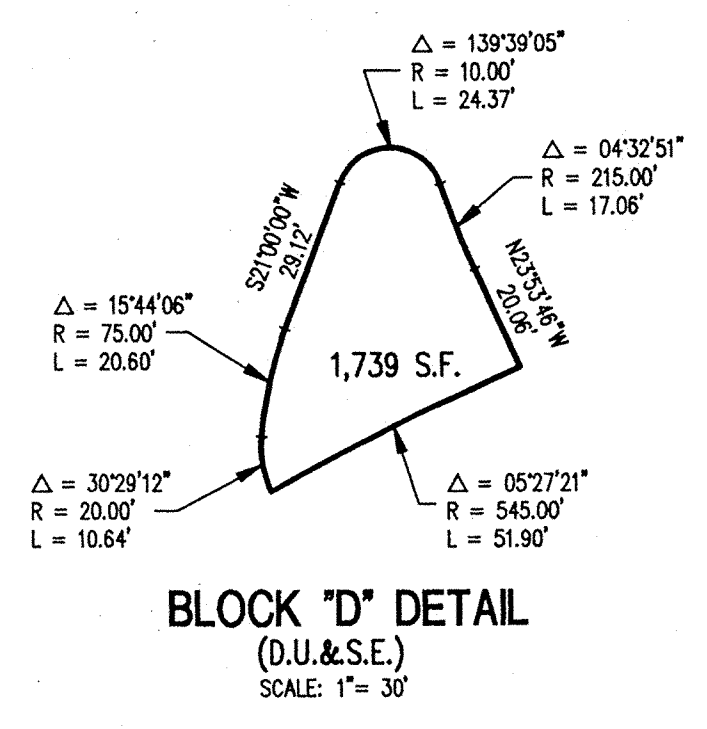
- LEGEND**
- ☒ — INDICATES CONCRETE MONUMENT
 - — INDICATES 5/8" REBAR W/CAP
 - — INDICATES CENTERLINE MONUMENTATION
 - B.L. — BUILDING LINE
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 - D. & U.E. — DRAINAGE AND UTILITY EASEMENT
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 - D.E. — DRAINAGE EASEMENT
 - L.E. — LANDSCAPE EASEMENT
 - N.A.E. — NON-ACCESS EASEMENT
 - — STREET ADDRESS

SOURCE OF TITLE:
INSTR. # 9413389



PLAN COMMISSION: UNDER AUTHORITY PROVIDED BY TITLE 36, ACTS OF 1981, P.L. 309 ENACTED BY THE GENERAL ASSEMBLY OF THE STATE OF INDIANA AND ALL ACTS AMENDATORY OR SUPPLEMENTARY THERETO, AND AN ORDINANCE ADOPTED BY THE COMMON COUNCIL OF THE CITY OF CARMEL, AS FOLLOWS:
ADOPTED BY THE CARMEL PLAN COMMISSION AT A MEETING HELD April 12, 1994

CARMEL/CLAY PLAN COMMISSION
BY: _____
DIRECTOR
DEPARTMENT OF COMMUNITY DEVELOPMENT
CARMEL, INDIANA



This plat is subject to Panhandle Eastern Pipeline Company easement (M.R. 36, PG. 401-407).
This blanket easement is to be release at a later date.

SHEET 2 OF 4
JOB # 907.01

This information was gathered for input into the Hamilton County Geographical Information System. This instrument is considered an official record of the GIS.

Entry Date: 2-20-04

Entered by: JOH

FILED
JAN 07 2000
OFFICE OF HAMILTON COUNTY SURVEYOR

THE PARKS AT SPRINGMILL

SECTION 3 (PARK MEADOW) SECONDARY PLAT PART OF THE N.W.1/4 SECTION 26-T18N-R3E HAMILTON COUNTY, INDIANA

OWNER/SUBDIVIDER
ESTRIDGE DEVELOPMENT COMPANY
1041 WEST MAIN STREET
CARMEL, INDIANA 46032
(317) 582-2456

SURVEYOR
SCHNEIDER ENGINEERING CORP.
3020 NORTH POST RD.
INDIANAPOLIS, IN. 46226
(317) 898-8282

DATE OF SUBMISSION: FEBRUARY 21, 1994
DATE OF APPROVAL: April 12, 1994

PLAN COMMISSION: UNDER AUTHORITY PROVIDED BY TITLE 36, ACTS OF 1981,
P.L. 309 ENACTED BY THE GENERAL ASSEMBLY OF THE STATE OF INDIANA AND
ALL ACTS AMENDATORY OR SUPPLEMENTARY THERETO, AND AN ORDINANCE ADOPTED
BY THE COMMON COUNCIL OF THE CITY OF CARMEL, AS FOLLOWS:
ADOPTED BY THE CARMEL PLAN COMMISSION AT A MEETING HELD April 12, 1994

CARMEL/CLAY PLAN COMMISSION
BY: [Signature]
DIRECTOR
DEPARTMENT OF COMMUNITY DEVELOPMENT
CARMEL, INDIANA

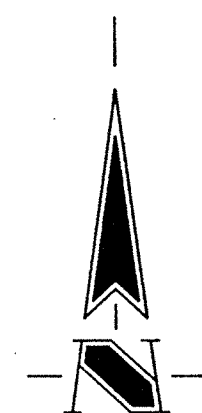
SOURCE OF TITLE:
INSTR. # 9413389

THIS INSTRUMENT WAS PREPARED
BY GARY R. KENT
REGISTERED LAND SURVEYOR-INDIANA #50389
3020 NORTH POST ROAD
INDIANAPOLIS, INDIANA 46226
TELEPHONE (317) 898-8282

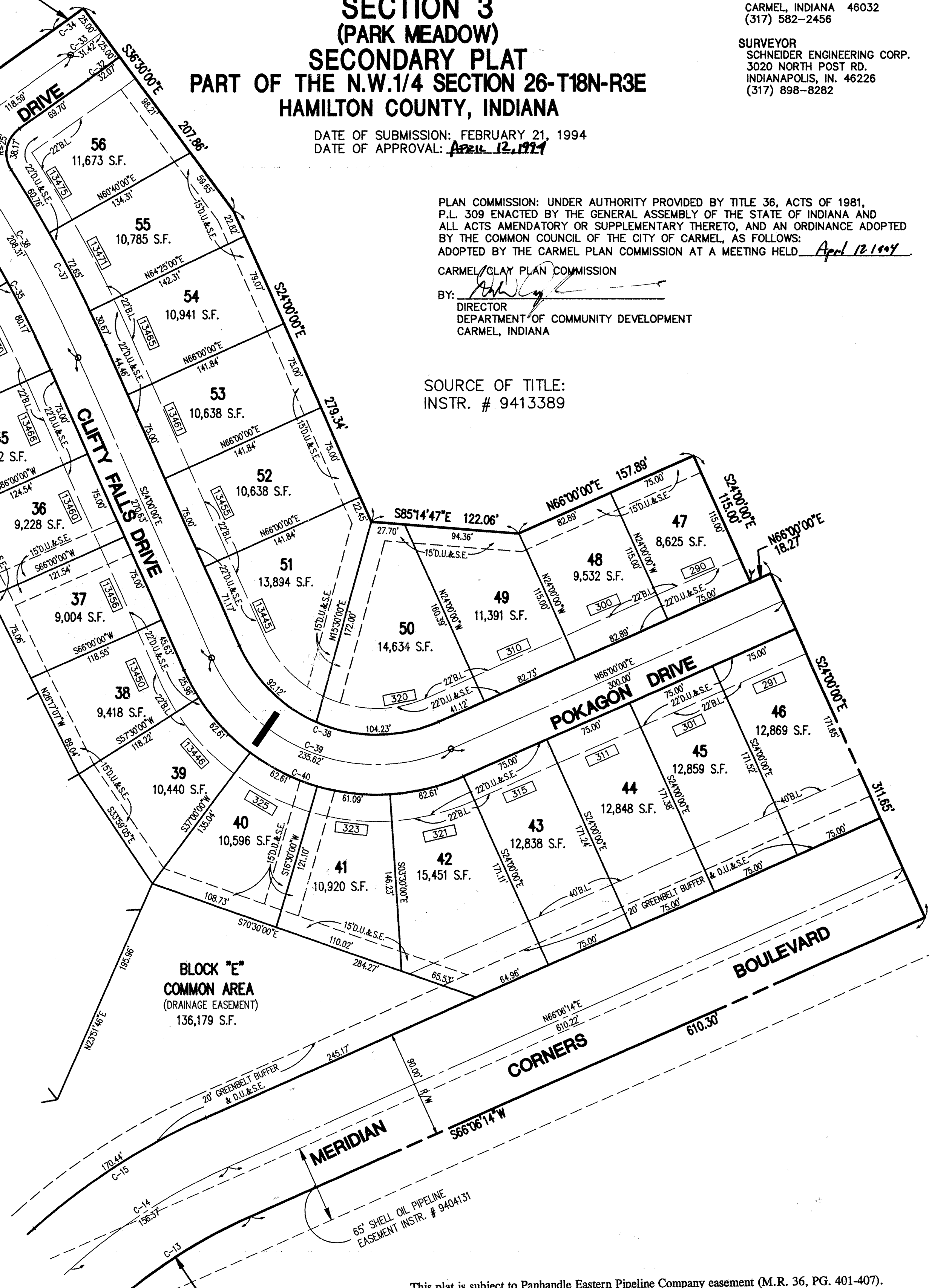
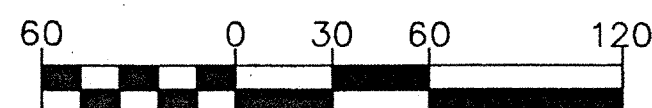
$\Delta = 01'30''00''$
 $R = 1175.00'$
 $L = 30.76'$

LEGEND

- ☒ — INDICATES CONCRETE MONUMENT
- — INDICATES 5/8" REBAR W/CAP
- — INDICATES CENTERLINE MONUMENTATION
- B.L. — BUILDING LINE
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- D.E. — DRAINAGE EASEMENT
- L.E. — LANDSCAPE EASEMENT
- N.A.E. — NON-ACCESS EASEMENT
- 000000 — STREET ADDRESS



(ASSUMED NORTH)
SCALE: 1" = 60'

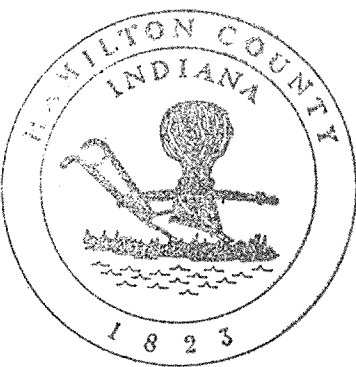


BLOCK "E"
COMMON AREA
(DRAINAGE EASEMENT)
136,179 S.F.

$\Delta = 17'55''08''$
 $R = 455.00'$
 $L = 142.30'$

This plat is subject to Panhandle Eastern Pipeline Company easement (M.R. 36, PG. 401-407).
This blanket easement is to be release at a later date.

SHEET 3 OF 4
JOB # 907.01



This information was gathered for input into the Hamilton County Geographical Information System. This document is considered an official record of the GIS.

Entry Date: 2-20-04

Entered by: JCH

FILED

JAN 07 2000

OFFICE OF HAMILTON COUNTY SURVEYOR

LAND DESCRIPTION

Part of the Northwest Quarter of Section Twenty-six (26) in Township Eighteen (18) North, Range Three (3) East in Hamilton County, Indiana, described as follows:

Commencing at the Southwest corner of the Northwest Quarter of said Section 26; thence North 88 degrees 29 minutes 07 seconds East (assumed bearing) along the south line of the Northwest Quarter of said Section 26 a distance of 310.00 feet to the Point of Beginning; thence North 01 degrees 30 minutes 53 seconds West a distance of 45.00 feet; thence North 88 degrees 29 minutes 07 seconds East a distance of 286.19 feet; thence North 45 degrees 07 minutes 55 seconds East a distance of 29.09 feet to a curve having a radius of 445.00 feet, the radius point of which bears South 86 degrees 56 minutes 02 seconds East; thence Northerly along said curve an arc distance of 380.06 feet to a point which bears North 38 degrees 00 minutes 00 seconds West from said radius point; thence North 52 degrees 00 minutes 00 seconds East a distance of 181.40 feet to a curve having a radius of 455.00 feet, the radius point of which bears North 38 degrees 00 minutes 00 seconds West; thence Northeasterly along said curve an arc distance of 83.38 feet to a point which bears South 48 degrees 30 minutes 00 seconds East from said radius point; thence North 41 degrees 30 minutes 00 seconds East a distance of 219.33 feet to a curve having a radius of 545.00 feet, the radius point of which bears South 48 degrees 30 minutes 00 seconds East; thence Northeasterly along said curve an arc distance of 122.95 feet to tangent curve having a radius of 25.00 feet, the radius point of which bears North 35 degrees 34 minutes 28 seconds West; thence Northeasterly along said curve an arc distance of 26.59 feet to a tangent curve having a radius of 115.00 feet, the radius point of which bears North 83 degrees 28 minutes 59 seconds East; thence Northerly along said curve an arc distance of 55.23 feet to a point which bears North 69 degrees 00 minutes 00 seconds West from said radius point; thence North 21 degrees 00 minutes 00 seconds East a distance of 14.04 feet; thence North 69 degrees 00 minutes 00 seconds West a distance of 120.00 feet; thence North 21 degrees 00 minutes 00 seconds East a distance of 138.45 feet; thence North 00 degrees 25 minutes 14 seconds West a distance of 60.56 feet; thence North 14 degrees 00 minutes 00 seconds West a distance of 216.44 feet; thence North 19 degrees 08 minutes 04 seconds West a distance of 63.67 feet; thence North 24 degrees 00 minutes 00 seconds West a distance of 150.00 feet; thence North 26 degrees 07 minutes 47 seconds West a distance of 102.15 feet; thence North 60 degrees 00 minutes 00 seconds East a distance of 117.63 feet; thence North 30 degrees 00 minutes 00 seconds West a distance of 8.10 feet; thence North 60 degrees 00 minutes 00 seconds East a distance of 369.50 feet to a curve having a radius of 1175.00 feet, the radius point of which bears North 30 degrees 00 minutes 00 seconds West; thence Northeasterly along said curve an arc distance of 102.54 feet to a point which bears South 35 degrees 00 minutes 00 seconds East from said radius point; thence North 55 degrees 00 minutes 00 seconds East a distance of 276.23 feet to a curve having a radius of 1175.00 feet, the radius point of which bears North 35 degrees 00 minutes 00 seconds West; thence Northeasterly along said curve an arc distance of 30.76 feet to a point which bears South 36 degrees 30 minutes 00 seconds East from said radius point; thence South 36 degrees 30 minutes 00 seconds East a distance of 207.86 feet; thence South 24 degrees 00 minutes 00 seconds East a distance of 279.34 feet; thence South 85 degrees 14 minutes 47 seconds East a distance of 122.06 feet; thence North 66 degrees 00 minutes 00 seconds East a distance of 157.89 feet; thence South 24 degrees 00 minutes 00 seconds East a distance of 115.00 feet; thence North 66 degrees 00 minutes 00 seconds East a distance of 18.27 feet; thence South 24 degrees 00 minutes 00 seconds East a distance of 311.65 feet; thence South 66 degrees 06 minutes 14 seconds West a distance of 610.30 feet to a curve having a radius of 455.00 feet, the radius point of which bears South 23 degrees 53 minutes 46 seconds East; thence Southwesterly along said curve an arc distance of 142.30 feet to a point which bears North 41 degrees 48 minutes 54 seconds West from said radius point; thence South 48 degrees 11 minutes 06 seconds West a distance of 125.88 feet to a curve having a radius of 545.00 feet, the radius point of which bears North 41 degrees 48 minutes 54 seconds West; thence Southwesterly along said curve an arc distance of 170.44 feet to a point which bears South 23 degrees 53 minutes 46 seconds East from said radius point; thence South 66 degrees 06 minutes 14 seconds West a distance of 199.95 feet to a curve having a radius of 455.00 feet, the radius point of which bears South 23 degrees 53 minutes 46 seconds East; thence Southwesterly along said curve an arc distance of 195.39 feet to a point which bears North 48 degrees 30 minutes 00 seconds West from said radius point; thence South 41 degrees 30 minutes 00 seconds West a distance of 219.33 feet to a curve having a radius of 545.00 feet, the radius point of which bears North 48 degrees 30 minutes 00 seconds West; thence Southwesterly along said curve an arc distance of 99.88 feet to a point which bears South 38 degrees 00 minutes 00 seconds East from said radius point; thence South 52 degrees 00 minutes 00 seconds West a distance of 181.40 feet to a curve having a radius of 355.00 feet, the radius point of which bears South 38 degrees 00 minutes 00 seconds East; thence Southerly along said curve an arc distance of 295.99 feet to a point which bears North 85 degrees 46 minutes 19 seconds West from said radius point; thence South 44 degrees 27 minutes 02 seconds East a distance of 27.25 feet; thence North 88 degrees 29 minutes 07 seconds East a distance of 283.74 feet; thence South 01 degrees 30 minutes 53 seconds East a distance of 45.00 feet to the south line of the Northwest Quarter of said Section 26; thence South 88 degrees 29 minutes 07 seconds West along the south line of the Northwest Quarter of said Section 26 a distance of 700.00 feet to the Beginning Point, containing 26.416 acres, more or less.

THIS SUBDIVISION CONSISTS OF 56 LOTS, NUMBERED 1 THROUGH 56 TOGETHER WITH STREETS, EASEMENTS AND COMMON AREAS/BLOCKS AS SHOWN HEREON.

THE SIZE OF LOTS AND COMMON AREAS/BLOCKS AND WIDTHS OF STREETS AND EASEMENTS ARE SHOWN IN FIGURES DENOTING FEET AND DECIMAL PARTS THEREOF.

CROSS-REFERENCE IS HEREBY MADE TO SURVEY PLAT RECORDED AS INSTRUMENT NUMBER 9442799 IN THE OFFICE OF THE RECORDER OF HAMILTON COUNTY, INDIANA.

THE UNDERSIGNED, HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, LICENSED IN COMPLIANCE WITH THE LAWS OF THE STATE OF INDIANA AND THAT THE WITHIN PLAT REPRESENTS A SUBDIVISION OF THE LANDS SURVEYED WITHIN THE CROSS REFERENCED SURVEY PLAT, AND THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF THERE HAS BEEN NO CHANGE FROM THE MATTERS OF SURVEY REVEALED BY THE CROSS-REFERENCE SURVEY ON ANY LINES THAT ARE COMMON WITH THE NEW SUBDIVISION. I FURTHER CERTIFY THAT THE SAID SUBDIVISION WAS PLATTED UNDER MY DIRECT SUPERVISION AND CONTROL AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

WITNESS MY SIGNATURE THIS 17th DAY OF October, 1994

GARY R. KENT
REGISTERED LAND SURVEYOR
INDIANA - #S0389



THE PARKS AT SPRINGMILL

SECTION 3
(PARK MEADOW)
SECONDARY PLAT
PART OF THE N.W.1/4 SECTION 26-T18N-R3E
HAMILTON COUNTY, INDIANA

ESTRIDGE DEVELOPMENT COMPANY, INC., THE OWNER OF THE REAL ESTATE DESCRIBED HEREIN ("REAL ESTATE"), DOES HEREBY PLAT AND SUBDIVIDE THE REAL ESTATE IN ACCORDANCE WITH THIS PLAT.

THE SUBDIVISION SHALL BE KNOWN AND DESIGNATED AS THE PARKS AT SPRINGMILL SECTION 3 (PARK MEADOW), AN ADDITION TO THE CITY OF CARMEL, INDIANA.

The real estate described within this plat is hereby platted, subdivided and made subject to these plat, covenants, conditions and restrictions and is further subject to the terms, definitions and conditions of a certain declaration of covenants, conditions and restrictions recorded as instrument 9447036 in the Office of the Recorder of Hamilton County, Indiana.

THE STREETS SHOWN ON THIS PLAT AND NOT HERETOFORE DEDICATED ARE HEREBY DEDICATED TO THE CITY OF CARMEL, INDIANA, AS PUBLIC RIGHTS-OF-WAY.

ESTRIDGE DEVELOPMENT COMPANY, INC.
BY: *Paul E. Estridge, Jr.*
PAUL E. ESTRIDGE, JR., PRESIDENT

STATE OF INDIANA }
COUNTY OF HAMILTON } SS:

BEFORE ME, A NOTARY PUBLIC, IN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED PAUL E. ESTRIDGE, JR., ESTRIDGE DEVELOPMENT COMPANY, INC., AND ACKNOWLEDGED EXECUTION OF THE FOREGOING.

WITNESS MY HAND AND SEAL THIS 18th DAY OF October, 1994

MY COMMISSION EXPIRES: 4/1/06
COUNTY OF RESIDENCE: Hamilton
Notary Public
Phyllis N. Urdine
PRINTED NAME

THIS PLAT WAS APPROVED BY THE CARMEL PLAN COMMISSION AT A MEETING HELD ON THE 12 DAY OF April, 1994

CARMEL/CLAY PLAN COMMISSION

BY: *John Johnson*
DIRECTOR
DEPARTMENT OF COMMUNITY DEVELOPMENT
CARMEL, INDIANA

THIS PLAT WAS APPROVED BY THE BOARD OF PUBLIC WORKS AND SAFETY OF THE CITY OF CARMEL, INDIANA, AT A MEETING HELD ON THE 9 DAY OF NOVEMBER, 1994

Ted Johnson
TED JOHNSON, MAYOR
Steve Brown
STEVE BROWN, MEMBER
Rick McKinney 11/6/94
RICK MCKINNEY, MEMBER
Susan W. Jones
SUSAN W. JONES, CLERK/TREASURER

Hamilton County Seal
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Entry Date: 2-20-04
Entered by: JCH

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-SECTION 26-T18N-R3E-

PARK MEADOW SECTION 1

(CONSTRUCTION PLANS)

HAMILTON COUNTY CARMEL, INDIANA

DEVELOPER:

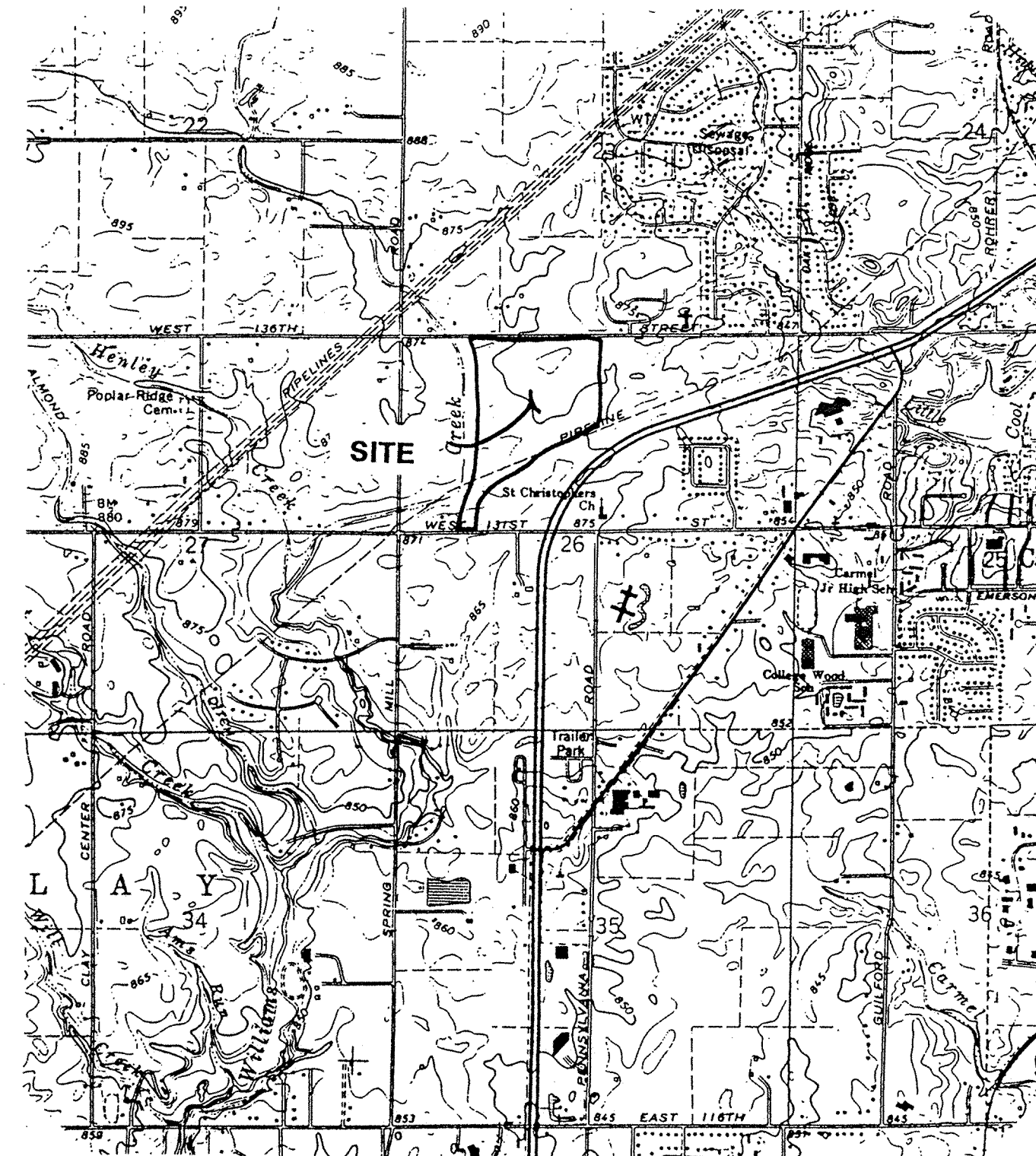
ESTRIDGE DEVELOPMENT CO., INC.

1041 WEST MAIN STREET
CARMEL, INDIANA 46032
(317) 582-2456

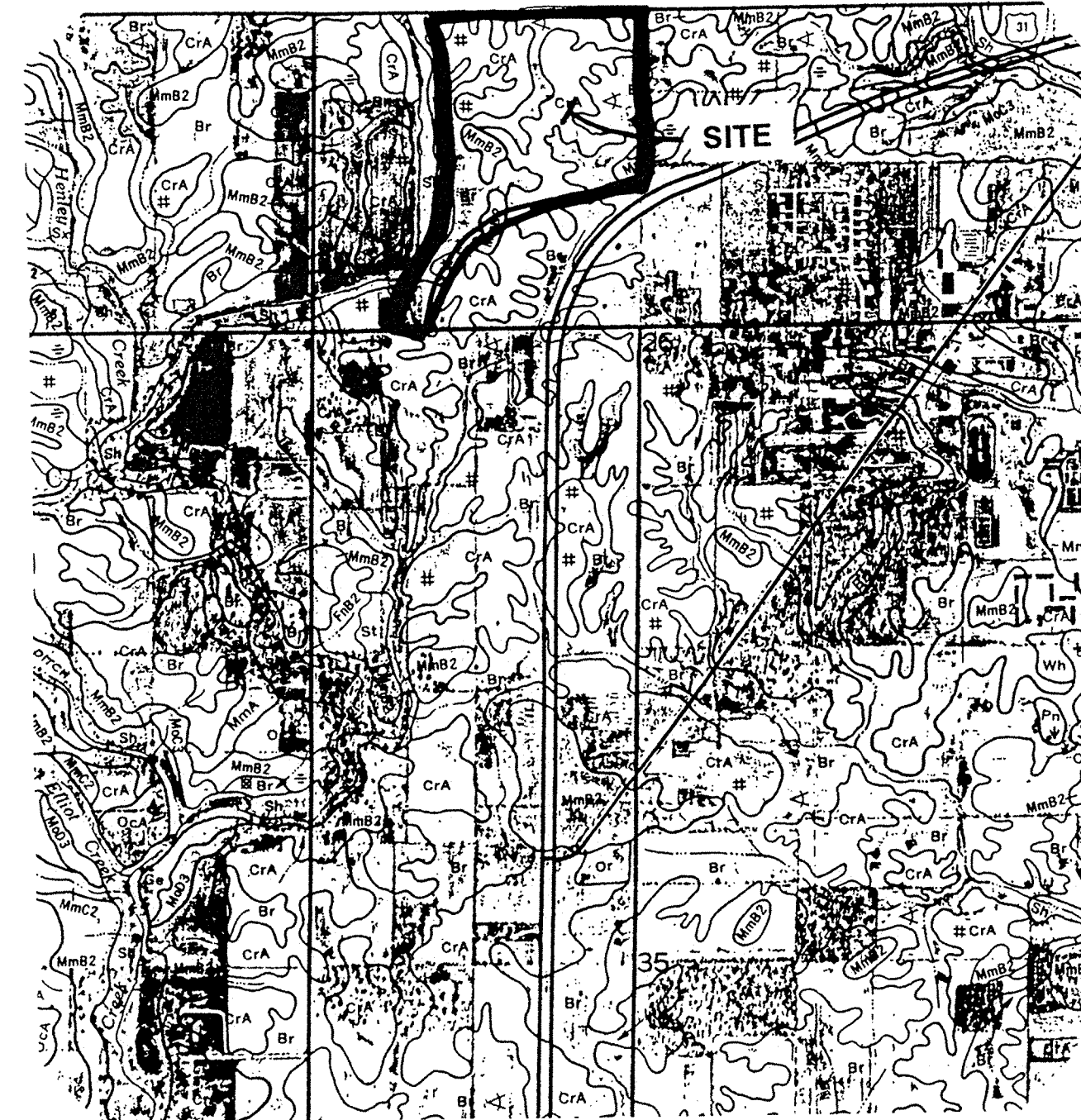
ENGINEER:

SCHNEIDER ENGINEERING CORP.

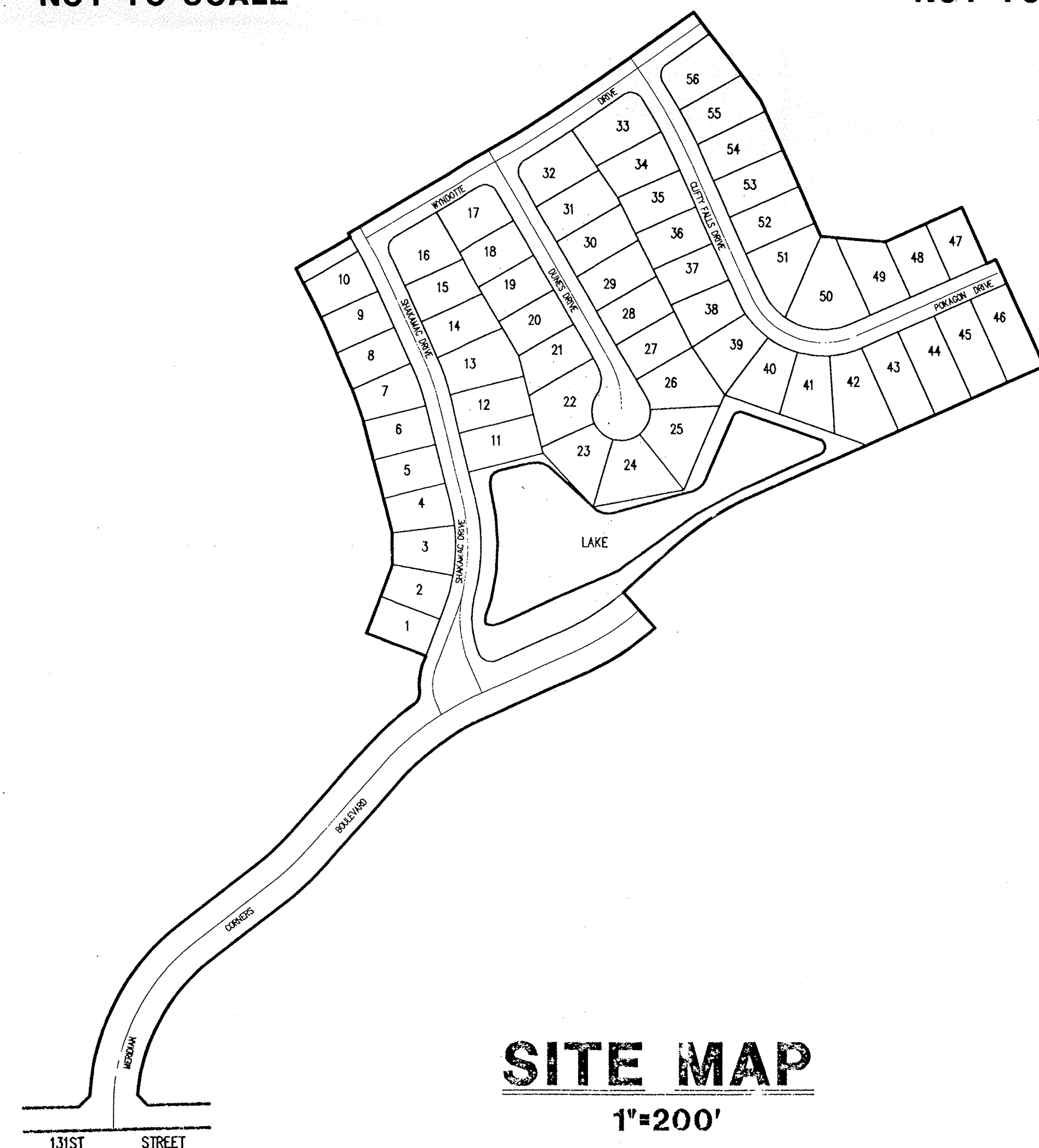
3020 NORTH POST ROAD
INDIANAPOLIS, INDIANA 46226
(317) 898-8282 FAX (317) 899-8010



AREA MAP
NOT TO SCALE




SOILS MAP
NOT TO SCALE



SITE MAP
1"=200'

INDEX	
SHEET No.	DESCRIPTION
S-1	TITLE SHEET
S-2	DEVELOPMENT PLAN
S-3	DEVELOPMENT/STREET PLAN
S-4	STRUCTURE DATA & INFORMATION
S-5, S-6	EROSION CONTROL PLANS
S-7	ENTRANCE PLAN
S-8-S-10	STREET PLANS
S-11-S-13	SANITARY SEWER PLANS
S-14-S-17	STORM SEWER PLANS
S-18	CUL-DE-SAC AND INTERSECTION PLAN
S-19-S-20	GENERAL DETAILS
S-21	SPECIFICATIONS



This information was gathered for input into the Hamilton County Geographical Information System. This document is considered an official record of the GIS.

Entry Date: 2-20-04

Entered by: JDH

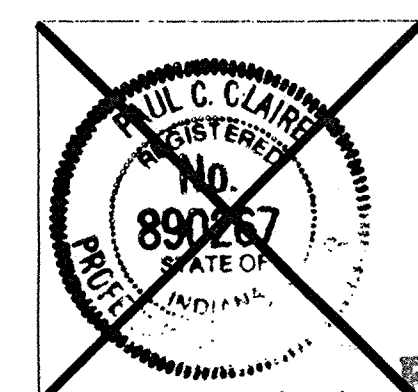
STORM SEWER RECORD DRAWING



Schneider Engineering Corporation

PROFESSIONAL ENGINEERS-LAND SURVEYORS-PLANNERS-GEOLOGISTS
INDIANAPOLIS, INDIANA 46226-6518
3020 NORTH POST ROAD
INDIANAPOLIS, INDIANA 46226-6518
Telephone (317) 898-8282 FAX (317) 899-8010

AVON, INDIANA 46122
6845 EAST U.S. 36, SUITE 500
DANVILLE, INDIANA 46122
Telephone (317) 272-0108 FAX (317) 272-0412



CERTIFIED BY: PAUL C. CLAIRE

FILED
DATE: 2/21/04
SHEET
JAN 07 2004
S-1
OFFICE OF HAMILTON COUNTY SURVEYOR

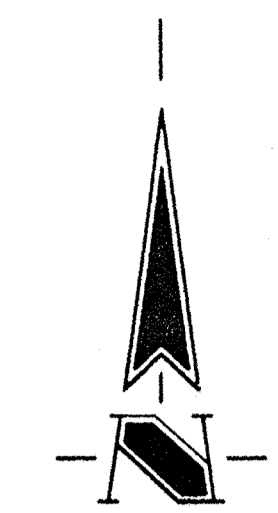
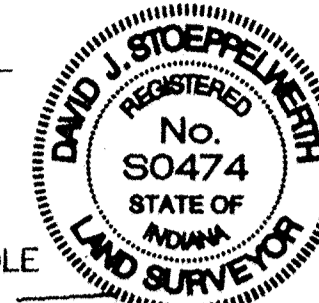
PROJECT ENGINEER: _____
CHECKED BY: _____ DATE CHECKED: _____

(JOB No. 907.01)

RECORD DRAWING

David J. Stoepelwerth
 DAVID J. STOEPELWERTH
 Registered Land Surveyor
 No. 50474

2/6/97
 DATE



ASSUMED NORTH
 SCALE: 1"=50'

LEGEND

- Existing Storm Sewer
- New Storm Sewer
- Existing Sanitary Sewer
- New Sanitary Sewer
(Labels are shown for reference only
See Sanitary Plan & Profiles for Locations)
- Existing Contour
- Existing Elevation
- New Pavement Grade
- All Other Finish Grades
- Storm Structure Number
- Sanitary Structure Number
- Flow Arrow
- Denotes Elevation and Approximate Pad Size
- 6" Subsurface Drain w/4" Lateral Connection

SANITARY TABLE

STR #	STA	BASE LINE	OFFSET	LT/RT	TYPE	TC
400	17+98.80	B	29.85'	RT	MANHOLE	870.30
401	19+85.23	B	48.32'	RT	MANHOLE	870.30
402	21+36.34	B	29.24'	RT	MANHOLE	871.30
403	23+94.98	B	56.37'	RT	MANHOLE	873.20
404	25+61.57	A	35.00'	LT	MANHOLE	870.40
405	1+66.05	A	40.00'	LT	MANHOLE	877.50

STORM SEWER TABLE

STR #	STA	BASE LINE	OFFSET	LT/RT	TYPE	TC
640	21+20.11	B	241.09'	RT	END SECTION	-
641	22+11.80	B	173.00'	RT	BEEHIVE	869.50
642	22+11.80	B	15.00'	RT	CURB INLET	871.51
643	22+11.80	B	15.00'	LT	CURB INLET	871.51
644	19+25.40	B	173.28'	RT	END SECTION	-
645	18+98.16	B	15.00'	RT	CURB INLET	869.40
646	18+98.16	B	15.00'	LT	CURB INLET	869.40
647	18+94.76	B	15.00'	LT	BEEHIVE	869.50
648	17+28.33	B	160.54'	RT	END SECTION	-
649	16+80.00	B	15.00'	RT	CURB INLET	869.16
650	16+80.00	B	15.00'	LT	CURB INLET	869.16
651	4+89.10	A	15.00'	RT	CURB INLET	869.23
652	4+89.10	A	15.00'	LT	CURB INLET	869.23

GAS
 INDIANA GAS COMPANY
 15900 ALLISONVILLE ROAD
 NOBLESVILLE, IN 46060
 (317) 773-0430

TELEPHONE
 INDIANA BELL TELEPHONE CO.
 5858 NORTH COLLEGE AVENUE
 INDIANAPOLIS, IN 46204
 (317) 252-5878

CABLE TV
 JONES INTERCABLE
 516 EAST CARMEL DRIVE
 CARMEL, IN 46032
 (317) 844-8877

WATER
 INDIANAPOLIS WATER CO.
 1228 WATERWAY BLVD.
 INDIANAPOLIS, IN 46206
 (317) 263-6319

ELECTRIC
 PSI ENERGY
 1441 N. GULFORD AVE.
 CARMEL, IN 46032
 (317) 201-8296

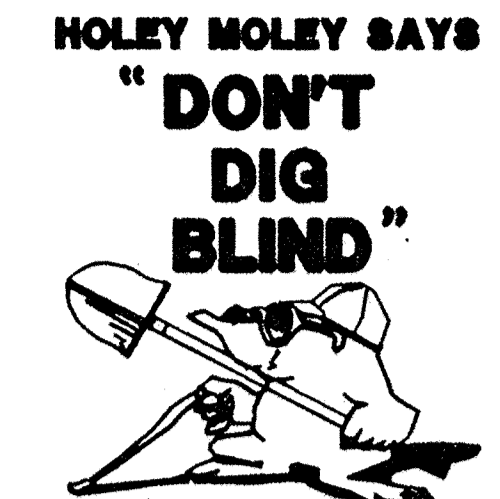
STORM SEWER
 HAMILTON COUNTY SURVEYOR
 942 MAPLE AVENUE
 NOBLESVILLE, IN 46060
 (317) 778-9626

STREETS
 CITY OF CARMEL
 11 FIRST AVENUE N.E.
 CARMEL, IN 46032
 (317) 846-7316

SANITARY SEWER
 CLAY TOWNSHIP REGIONAL WASTE DISTRICT
 10755 NORTH COLLEGE
 INDIANAPOLIS, IN 46240
 (317) 844-9200

UTILITY HOTLINE: WITHIN INDIANA 1-800-382-5544
 OUTSIDE INDIANA 1-800-428-5200

The size and location of utilities are per plans and locations provided by the respective utility companies. All utility companies shall be notified prior to any excavation for field location of services.

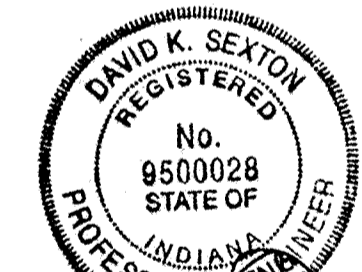


1-800-382-5544
 CALL TOLL FREE
 1-800-428-5200

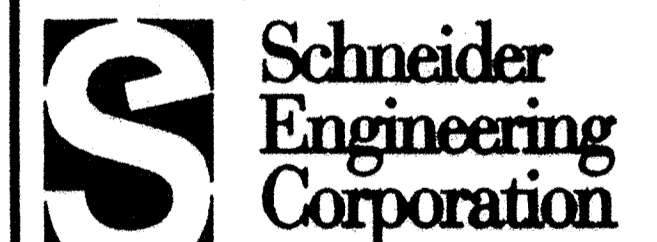
PER INDIANA STATE LAW IS-49-1991, IT IS AGAINST THE LAW TO EXCAVATE WITHOUT NOTIFYING THE UNDERGROUND LOCATION SERVICE TWO (2) WORKING DAYS BEFORE COMMENCING WORK.

- GENERAL NOTES:
- ALL GRADES AT BOUNDARY SHALL MEET EXISTING GRADES.
 - IT SHALL BE THE RESPONSIBILITY OF EACH SUBCONTRACTOR TO VERIFY ALL EXISTING UTILITIES AND CONDITIONS PERTAINING TO HIS PHASE OF WORK. IT SHALL ALSO BE THE SUBCONTRACTOR'S RESPONSIBILITY TO CONTACT THE OWNERS OF THE VARIOUS UTILITIES FOR PROPER STAKE LOCATION OF EACH UTILITY BEFORE WORK IS STARTED. THE SUBCONTRACTOR SHALL NOTIFY IN WRITING THE OWNER OR THE ENGINEER OF ANY CHANGES, OMISSIONS, OR ERRORS FOUND ON THESE PLANS OR IN FIELD BEFORE WORK IS STARTED OR RESUMED.
 - STANDARD SPECIFICATIONS FOR CLAY TOWNSHIP REGIONAL WASTE DISTRICT SHALL APPLY FOR ALL SANITARY SEWERS.
 - ANY PART OF THE SANITARY OR STORM SEWER TRENCHES RUNNING UNDER PAVED AREAS TO BE BACKFILLED WITH GRANULAR MATERIAL.
 - THE SIZE AND LOCATION OF EXISTING UTILITIES SHOWN ARE PER INFORMATION PROVIDED BY THE RESPECTIVE UTILITY COMPANIES. ALL UTILITY COMPANIES SHOULD BE NOTIFIED PRIOR TO ANY EXCAVATION FOR FIELD LOCATION OF SERVICES.
 - SERVICE WALKS SHALL BE NON-REINFORCED CONCRETE 4" THICK AND 4' IN WIDTH. IF SIDEWALK IS TO BE PART OF THE HOME DRIVEWAY THAN 6" THICKNESS IS REQUIRED.
 - 4' CONCRETE SERVICE WALK ACROSS FRONTAGE OF EACH LOT TO BE CONSTRUCTED BY OTHERS.
 - TEMPORARY TRAFFIC CONTROL DURING CONSTRUCTION TO CONFORM TO APPLICABLE LOCAL AND STATE STANDARDS.
 - ALL CONSTRUCTION ACTIVITY ON THIS SITE TO BE PERFORMED IN COMPLIANCE WITH APPLICABLE O.S.H.A. STANDARDS FOR WORKER SAFETY.
 - CONTRACTOR SHALL MINIMIZE DAMAGE TO EXISTING TREES.
 - CONTRACTOR TO CUT ALL SIDE YARD SWALES FOR FINAL DIRT CONSTRUCTION.
 - ALL EXTRA DIRT TO BE STOCK PILED IN FUTURE SECTION. CONTRACTOR TO SEE DEVELOPER FOR FINAL LOCATION.

Revisions
 9-11-95 REVISED PER T.A.C. COMMENTS BET
 11-10-95 SHOW L.D.S.M./ADD 90' R.P.
 11-30-95 REVISED PER FIELD ADJUSTMENTS BGC
 10-1-96 AS-BUILTS SCG
 2-6-97 FINISHED AS-BUILTS KCS



CERTIFIED BY: *David K. Sexton*
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3920 North Post Road
 Indianapolis, Indiana
 46228-0068
 317-896-8282
 317-890-8010 Fax

Engineering
 Surveying
 GIS • LIS
 Geology

A Partnered Entity with Bohlen, Meyer, Gibson & Associates, Incorporated

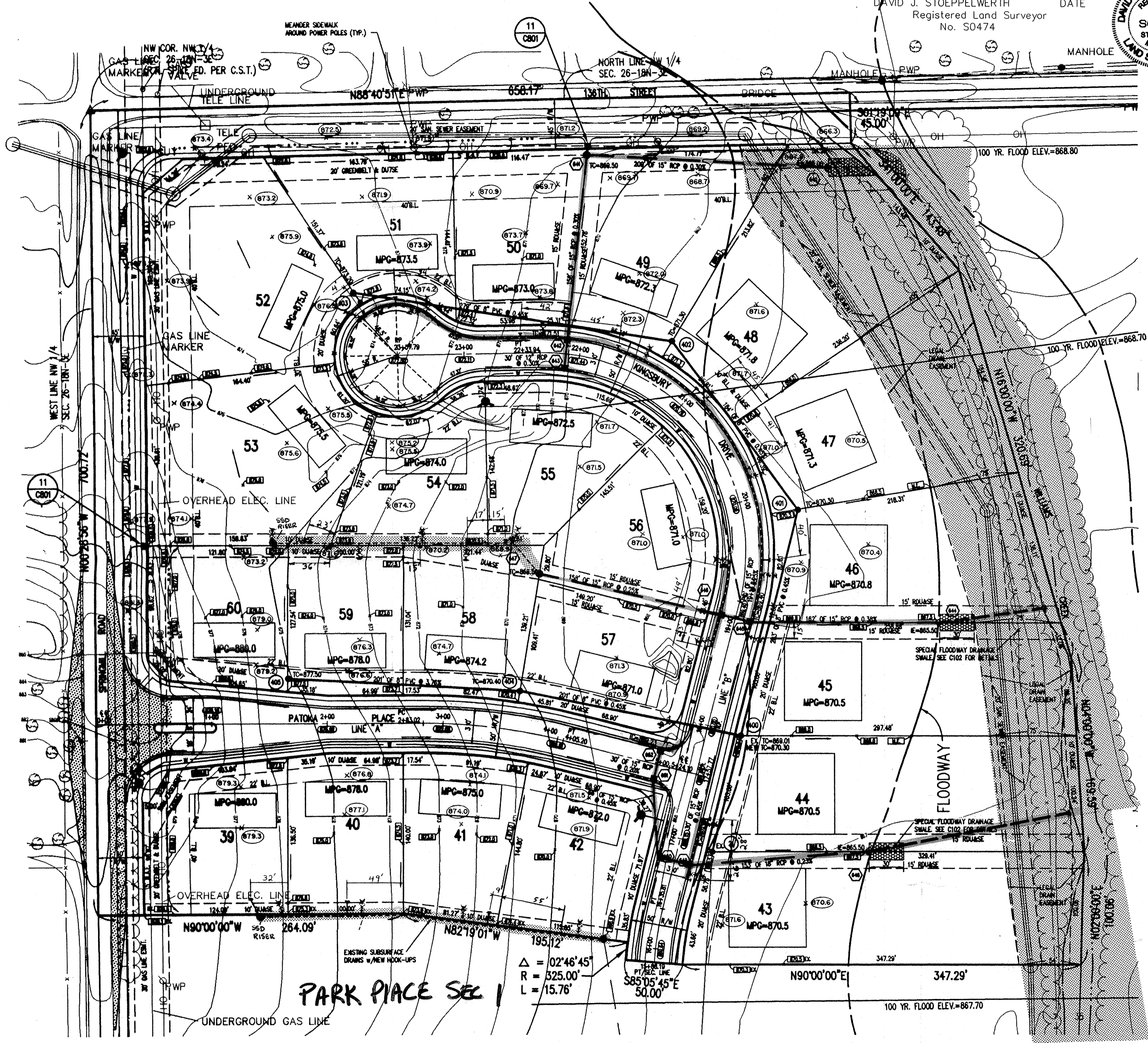
ESTRIDGE DEVELOPMENT CO., INC.
 THE PARKS AT SPRINGMILL
 PARK PLACE SECTION 2

SITE DEVELOPMENT PLAN

Date	Project No.	Drawn	Approv.
8-18-95	907.03	BET	

Computer Files	Sheet No.
90703101 03700 90703PLA	C101

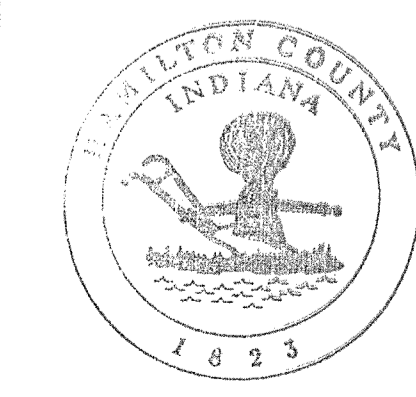
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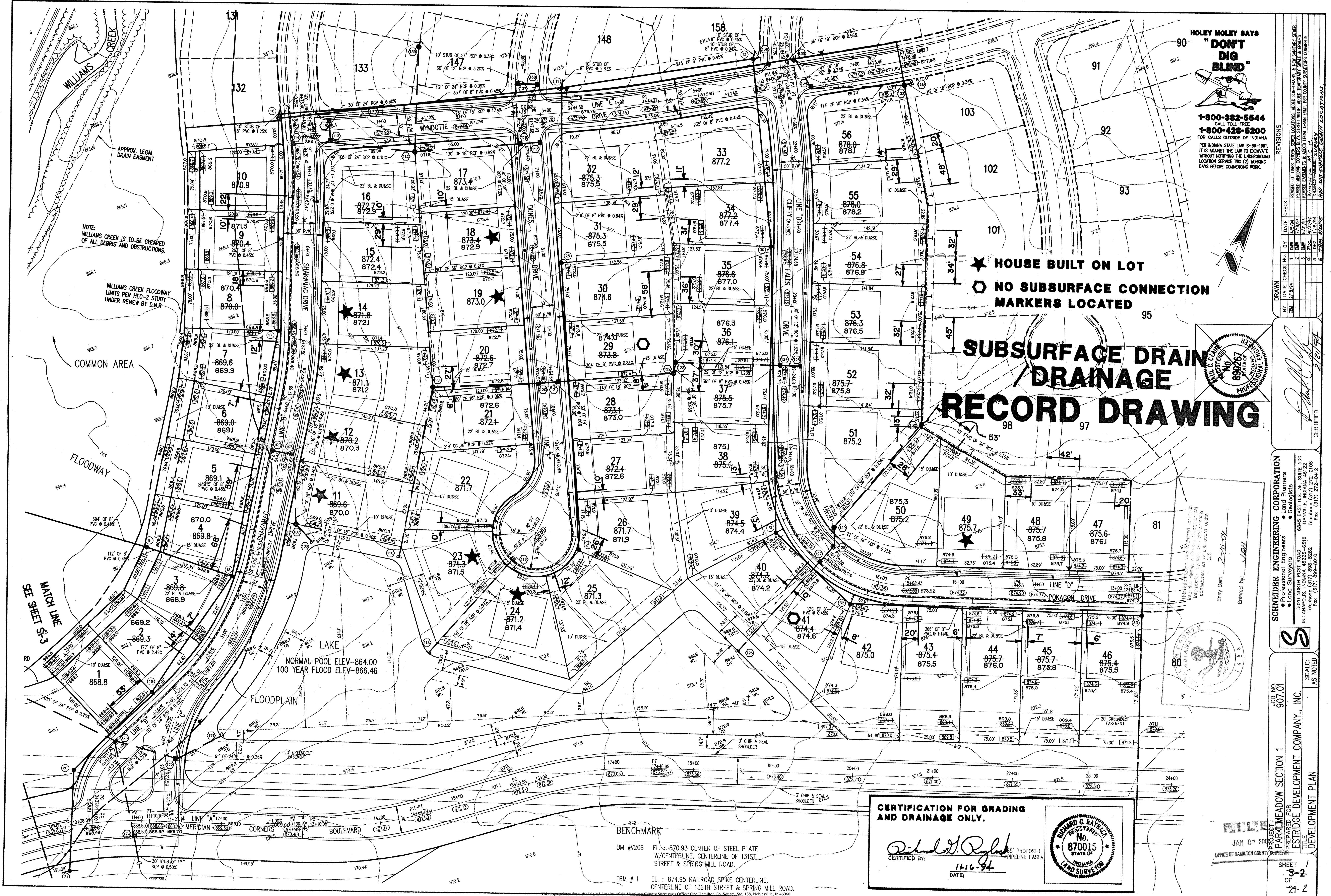


This information was gathered for input into the Hamilton County Geographical Information System. This document is considered an official record of the GIS.
 Entry Date: 2-19-04
 Entered by: J.D.H.

NOTES:
 1. PADS SHOWN ON LOTS 39-42 & 49-60 ARE ONLY 30' DEEP (FRONT TO BACK) CONTRACTOR SHALL GRADE 3/1 TO MATCH EXISTING FROM THE BACK AND SIDE OF PADS.
 2. PADS ON LOTS 43-48 ARE FULL SIZE PADS. CONTRACTOR SHALL GRADE 3/1 FROM THE BACK AND SIDES TO MATCH EXISTING.

BENCHMARK
 BM #V208 EL.: 870.93 CENTER OF STEEL PLATE W/CENTERLINE, CENTERLINE OF 131ST STREET & SPRING MILL ROAD.
 TBM #1 EL.: 874.95 RAILROAD SPIKE CENTERLINE, CENTERLINE OF 136TH STREET & SPRING MILL ROAD.





HOLEY MOLEY SAYS "DON'T DIG BLIND"

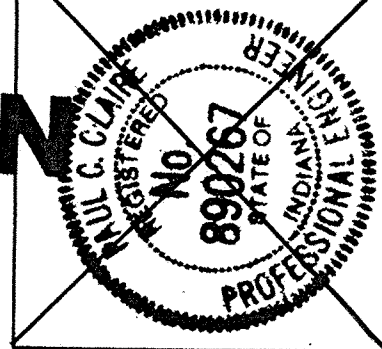
CALL TOLL FREE
1-800-382-5544
1-800-428-5200

FOR CALLS OUTSIDE OF INDIANA

PER INDIANA STATE LAW IS-69-1991, IT IS AGAINST THE LAW TO EXCAVATE WITHOUT NOTIFYING THE UNDERGROUND LOCATION SERVICE TWO (2) WORKING DAYS BEFORE COMMENCING WORK.

★ HOUSE BUILT ON LOT
 ○ NO SUBSURFACE CONNECTION MARKERS LOCATED

SUBSURFACE DRAINAGE RECORD DRAWING



Entry Date: 2-20-94
 Entered by: [Signature]

REVISIONS	DATE	CHECK	BY
1	2/18/94	CSM	CSM
2	4/6/94	CSM	CSM
3	7/10/94	CSM	CSM
4	8/21/94	CSM	CSM
5	7/17/94	CSM	CSM
6	7/17/94	CSM	CSM

SCHNEIDER ENGINEERING CORPORATION
 • Professional Engineers
 • Land Surveyors
 • Geologists
 • Land Planners

3020 NORTH POST ROAD
 6845 EAST U.S. 36, SUITE 600
 DANVILLE, INDIANA 46122
 Telephone (317) 898-8282
 Fax (317) 272-0412

ESTRIDGE DEVELOPMENT COMPANY, INC.
 SCALE: AS NOTED

CERTIFICATION FOR GRADING AND DRAINAGE ONLY.

Richard G. Ray
 REGISTERED PROFESSIONAL LAND SURVEYOR
 No. 870015
 STATE OF INDIANA

DATE: 1-16-94

JAN 07 2003
 OFFICE OF HAMILTON COUNTY SURVEYOR

SHEET 2 OF 2

FILE NAME: 90701DEV

BENCHMARK

BM #V208 EL.: 870.93 CENTER OF STEEL PLATE W/CENTERLINE, CENTERLINE OF 131ST STREET & SPRING-MILL ROAD.

TBM #1 EL.: 874.95 RAILROAD SPIKE CENTERLINE, CENTERLINE OF 136TH STREET & SPRING MILL ROAD.

NOTE: WILLIAMS CREEK IS TO BE CLEARED OF ALL DEBRIS AND OBSTRUCTIONS.

WILLIAMS CREEK FLOODWAY LIMITS PER HEC-2 STUDY UNDER REVIEW BY D.N.R.

LAKE
 NORMAL POOL ELEV.-864.00
 100 YEAR FLOOD ELEV.-866.46

SEE SHEET S-3

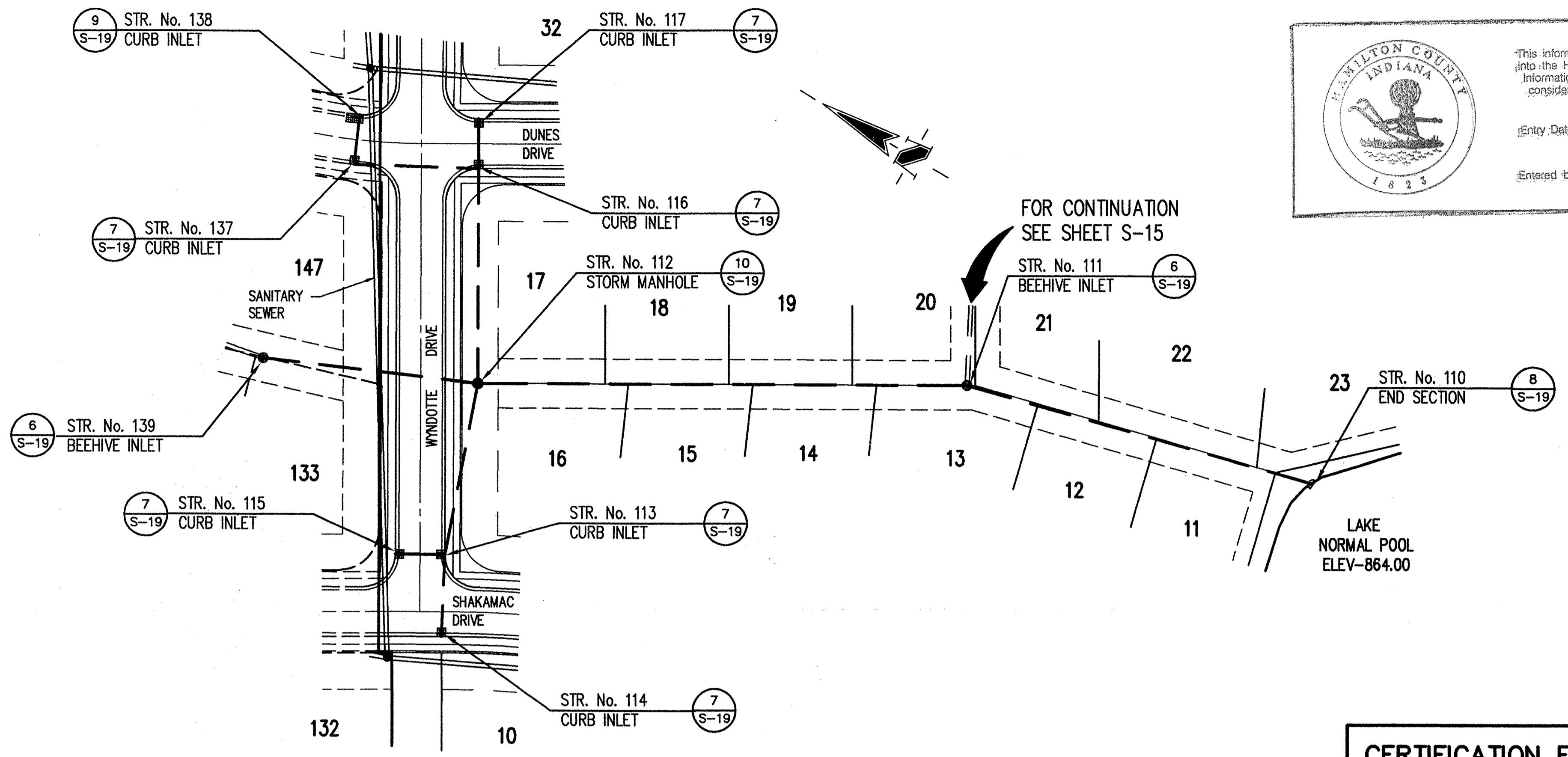

MATCH LINE

HOLEY MOLEY SAYS
"DON'T DIG BLIND"



1-800-382-5544
 CALL TOLL FREE
1-800-428-5200
 FOR CALLS OUTSIDE OF INDIANA

PER INDIANA STATE LAW IS-69-1991, IT IS AGAINST THE LAW TO EXCAVATE WITHOUT NOTIFYING THE UNDERGROUND LOCATION SERVICE TWO (2) WORKING DAYS BEFORE COMMENCING WORK.

This information was gathered for input into the Hamilton County Geographical Information System. This document is considered an official record of the GIS.

Entry Date: 2-26-04

Entered by: JDH

- GENERAL NOTES:**
- ALL CUTS ARE TAKEN FROM THE EXISTING GRADE TO THE PIPE INVERT.
 - ALL STATIONING IS TAKEN FROM THE NEAREST DOWNSTREAM STRUCTURE.
 - IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO FIELD VERIFY ALL UTILITY LOCATIONS BEFORE CONSTRUCTION BEGINS.
 - TEMPORARY TRAFFIC CONTROL DURING CONSTRUCTION TO CONFORM TO APPLICABLE LOCAL AND STATE STANDARDS.
 - ALL CONSTRUCTION ACTIVITY ON THIS SITE TO BE PERFORMED IN COMPLIANCE WITH APPLICABLE O.S.H.A. STANDARDS FOR WORKER SAFETY.
 - CONTRACTOR SHALL MINIMIZE DAMAGE TO EXISTING TREES.
 - FOR STATION AND OFFSETS OF STRUCTURES SEE DEVELOPMENT PLAN.

BENCHMARK

BM #208 EL.: 870.93 CENTER OF STEEL PLATE W/CENTERLINE, CENTERLINE OF 131ST STREET & SPRING MILL ROAD.

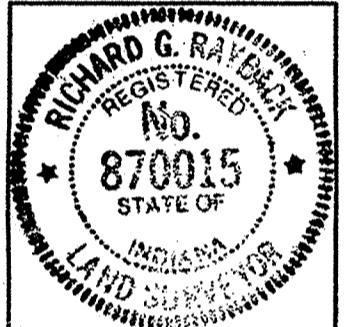
TBM # 1 EL.: 874.95 RAILROAD SPIKE CENTERLINE, CENTERLINE OF 136TH STREET & SPRING MILL ROAD.

STORM SEWER PLAN

CERTIFICATION FOR "RECORD DRAWING"

CERTIFIED BY: *Richard J. Raylock*

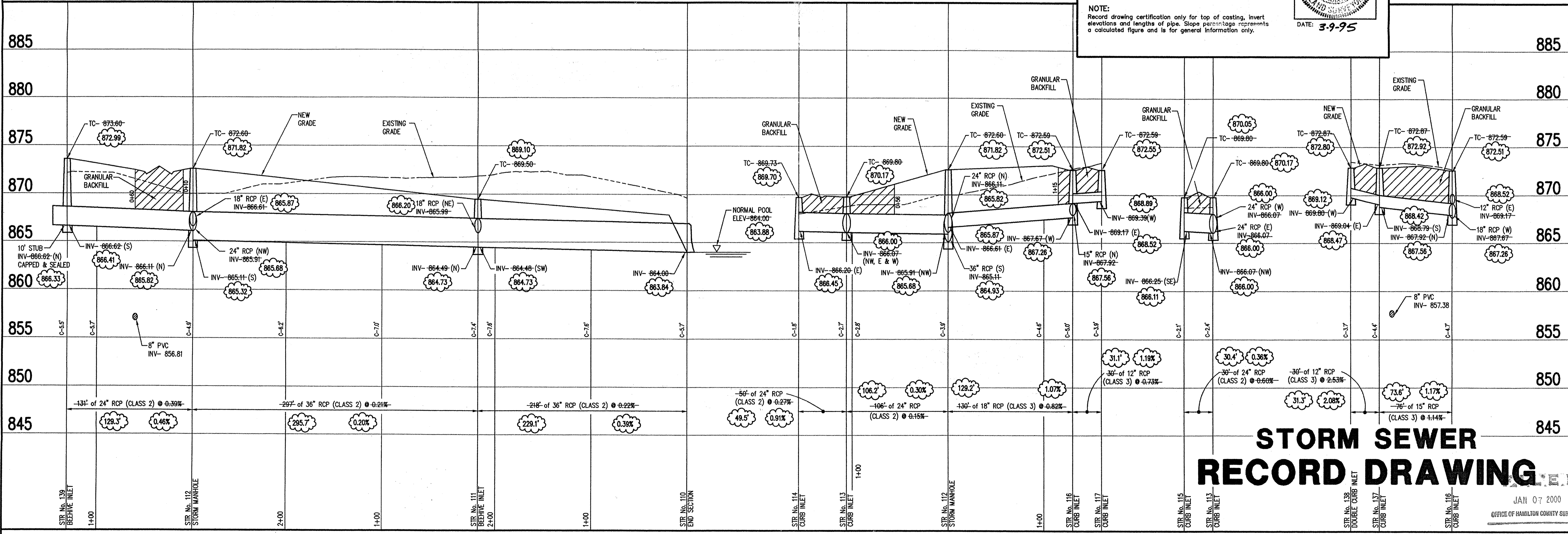
SCHNEIDER ENGINEERING CORPORATION
 3020 NORTH POST ROAD
 INDIANAPOLIS, INDIANA 46228-0068
 (317) 898-8282 FAX (317) 899-8010



NOTE: Record drawing certification only for top of casting, invert elevations and lengths of pipe. Slope percentage represents a calculated figure and is for general information only.

DATE: 3-9-95

SCALE: 1"=50'



STORM SEWER RECORD DRAWING

STORM SEWER PROFILE

SCALE: HORIZ.: 1"=50'
 VERT.: 1"=5'

REVISIONS

NO.	DATE	BY	DESCRIPTION
1	4/29/04	DHW	REVISED PLAN VIEW & ASSESS PIPE INVERT TO STR. 111
2	7/25/04	DHW	REVISED PLAN VIEW & ASSESS PIPE INVERT TO STR. 111
3	11/11/04	DHW	STORM SEWER RECORD DRAWING

CERTIFIED

SCHNEIDER ENGINEERING CORPORATION
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 • Land Planners
 • Land Surveyors
 • Geologists

3020 NORTH POST ROAD
 INDIANAPOLIS, INDIANA 46228-0068
 Telephone (317) 272-0108
 Fax (317) 899-8010

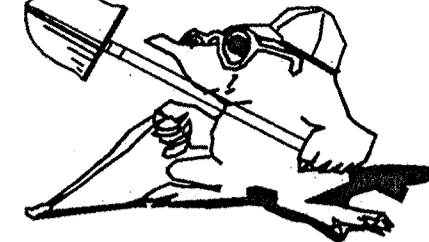
PROJECT: PARK MEADOW SECTION 1
PREPARED FOR: ESTRIDGE DEVELOPMENT COMPANY, INC.
TITLE: STORM SEWER PROFILES

JAN 07 2000
 OFFICE OF HAMILTON COUNTY SURVEYOR

SHEET **S-14**
 OF 21
 FILE NAME: 90703M

HOLEY MOLEY SAYS

"DON'T DIG BLIND"



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1-800-428-5200
FOR CALLS OUTSIDE OF INDIANA

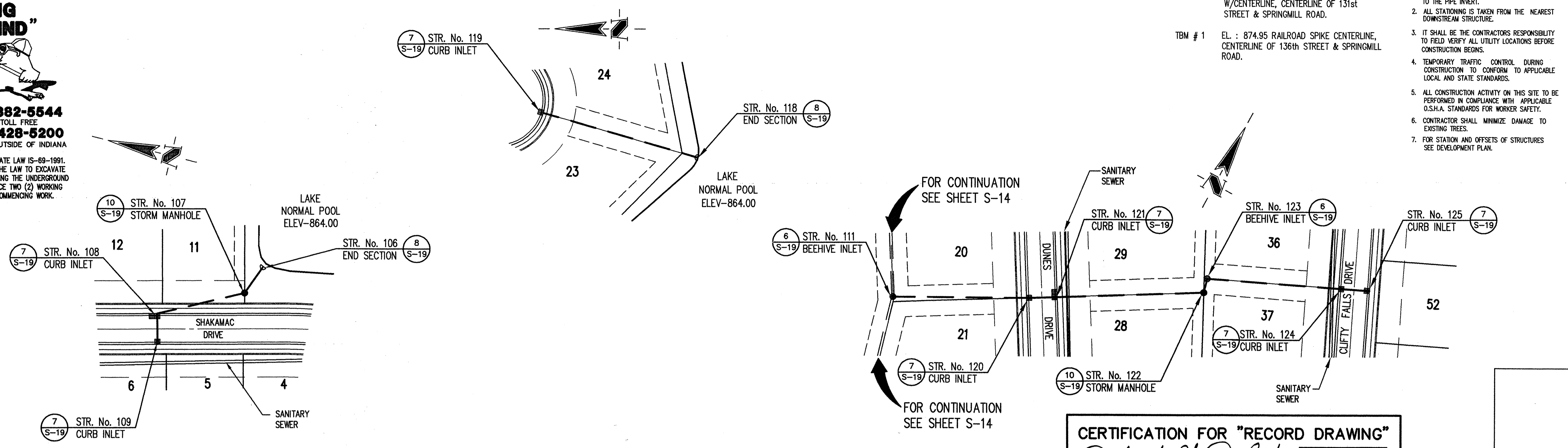
PER INDIANA STATE LAW IS-69-1991,
IT IS AGAINST THE LAW TO EXCAVATE
WITHOUT NOTIFYING THE UNDERGROUND
LOCATION SERVICE TWO (2) WORKING
DAYS BEFORE COMMENCING WORK.

BENCHMARK

BM #208 EL : 870.93 CENTER OF STEEL PLATE
W/CENTERLINE, CENTERLINE OF 131st
STREET & SPRINGMILL ROAD.
TBM # 1 EL : 874.95 RAILROAD SPIKE CENTERLINE,
CENTERLINE OF 136th STREET & SPRINGMILL
ROAD.

GENERAL NOTES:

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- CONTRACTOR SHALL MINIMIZE DAMAGE TO EXISTING TREES.
- FOR STATION AND OFFSETS OF STRUCTURES SEE DEVELOPMENT PLAN.



STORM SEWER PLAN

CERTIFICATION FOR "RECORD DRAWING"

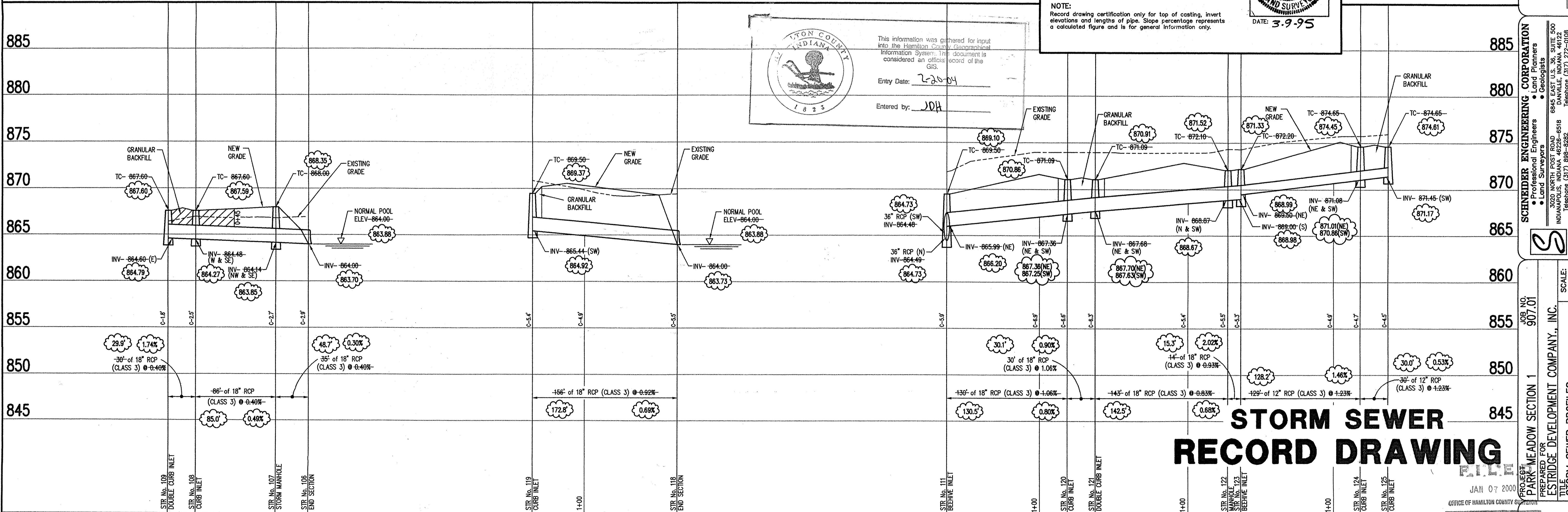
CERTIFIED BY: *Richard J. Raybuck*

SCHNEIDER ENGINEERING CORPORATION
3020 NORTH POST ROAD
INDIANAPOLIS, INDIANA 46226-0068
(317) 868-8282 FAX (317) 899-8010

NOTE:
Record drawing certification only for top of coating, invert elevations and lengths of pipe. Slope percentage represents a calculated figure and is for general information only.

DATE: 3-9-95

SCALE: 1"=50'



STORM SEWER PROFILE

SCALE: HORZ.: 1"=50'
VERT.: 1"=5'

INDIAN COUNTY
INDIANA
1825

This information was gathered for input into the Hamilton County Geographical Information System. This document is considered an official record of the GIS.

Entry Date: 2-20-04

Entered by: JDA

STORM SEWER RECORD DRAWING

REVISIONS

NO.	DATE	BY	DESCRIPTION
1	1/20/04	DMW	ISSUE FOR PERMITS
2	2/23/04	DMW	ISSUE FOR RECORD DRAWING

SCHEIDT ENGINEERING CORPORATION
Professional Engineers
Land Planners
Geologists

PREPARED FOR
ESTRIDGE DEVELOPMENT COMPANY, INC.

DATE: JAN 07 2000
OFFICE OF HAMILTON COUNTY SUPERVISOR

SHEET 5-15
OF 21

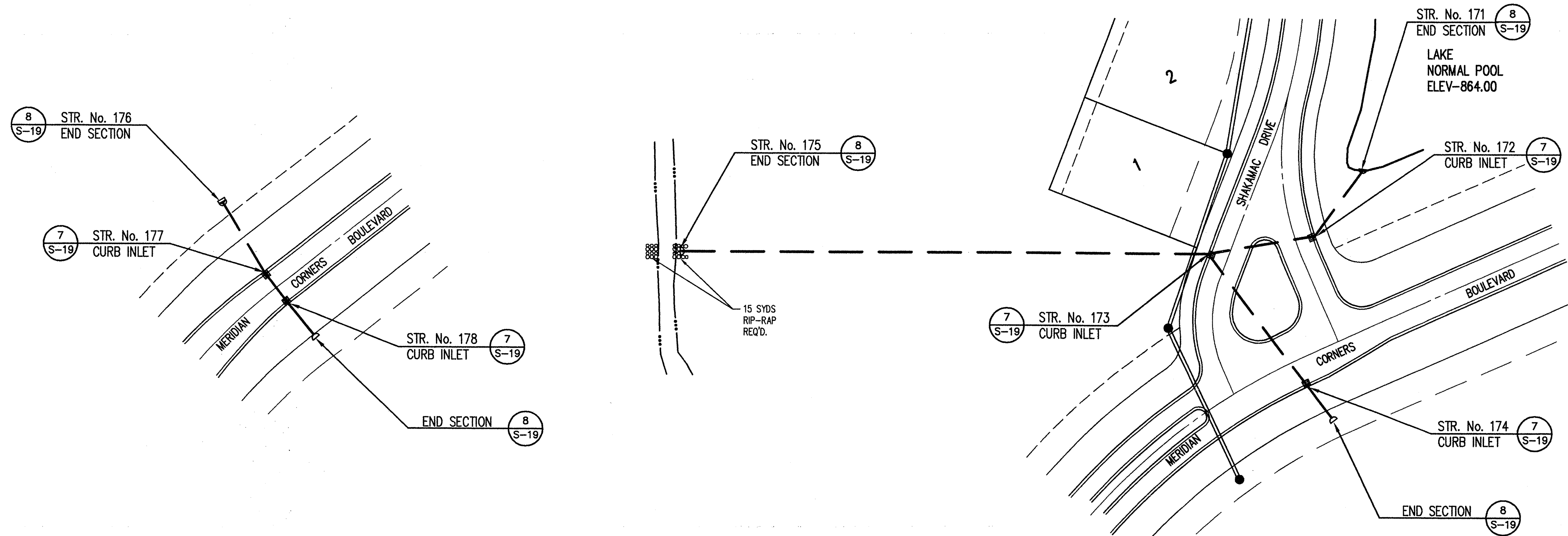
FILE NAME: 9070512

HOLEY MOLEY SAYS
"DON'T DIG BLIND"



1-800-382-5544
 CALL TOLL FREE
1-800-428-5200
 FOR CALLS OUTSIDE OF INDIANA

PER INDIANA STATE LAW IS-69-1991, IT IS AGAINST THE LAW TO EXCAVATE WITHOUT NOTIFYING THE UNDERGROUND LOCATION SERVICE TWO (2) WORKING DAYS BEFORE COMMENCING WORK.



BENCHMARK

BM #208 EL : 870.93 CENTER OF STEEL PLATE W/CENTERLINE, CENTERLINE OF 131st STREET & SPRINGMILL ROAD.

TBM #1 EL : 874.95 RAILROAD SPIKE CENTERLINE, CENTERLINE OF 136th STREET & SPRINGMILL ROAD.

NO.	DATE	BY	CHECKED	REVISIONS
1	4/29/94	JDM	JDM	REVISION PLAN, NOTES & PROFILES
2	7/17/94	JDM	JDM	REVISION PLAN, NOTES & PROFILES
3	8/27/94	JDM	JDM	ADDED PIPELINE CROSSING
4				STORM SEWER RECORD DRAWING
5				

STORM SEWER PLAN

CERTIFICATION FOR "RECORD DRAWING"

CERTIFIED BY: *Richard G. Ruychuck*

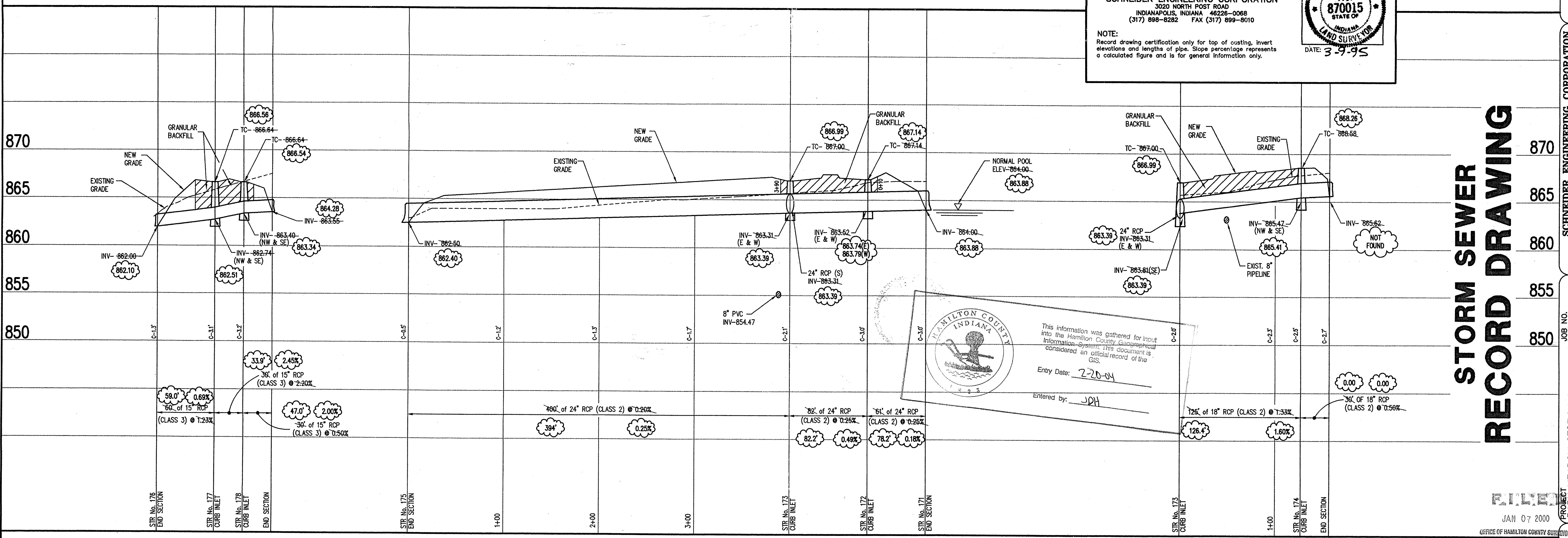
SCHNEIDER ENGINEERING CORPORATION
 3020 NORTH POST ROAD
 INDIANAPOLIS, INDIANA 46228-0068
 (317) 898-8282 FAX (317) 899-8010

REGISTERED PROFESSIONAL ENGINEER
 No. 870015
 STATE OF INDIANA
 LAND SURVEYOR

DATE: 3-9-95

NOTE: Record drawing certification only for top of existing, invert elevations and lengths of pipe. Slope percentage represents a calculated figure and is for general information only.

SCALE: 1"=50'



STORM SEWER RECORD DRAWING

STORM SEWER PROFILE

SCALE: HORZ.: 1"=50'
 VERT.: 1"=5'

SCHNEIDER ENGINEERING CORPORATION
 • Professional Engineers
 • Land Surveyors
 • Land Planners
 • Geologists

3020 NORTH POST ROAD
 INDIANAPOLIS, INDIANA 46228-0068
 (317) 898-8282 FAX (317) 899-8010

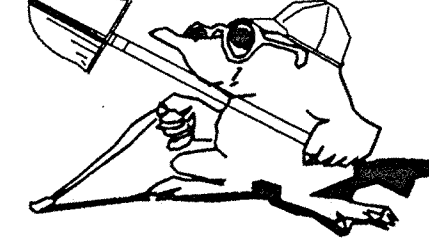
PROJECT: PARK MEADOW SECTION 1
 PREPARED FOR: ESTRIDGE DEVELOPMENT COMPANY, INC.
 TITLE: STORM SEWER PLAN

DATE: JAN 07 2000

SHEET 16 OF 21
 FILE NAME: 907015M4

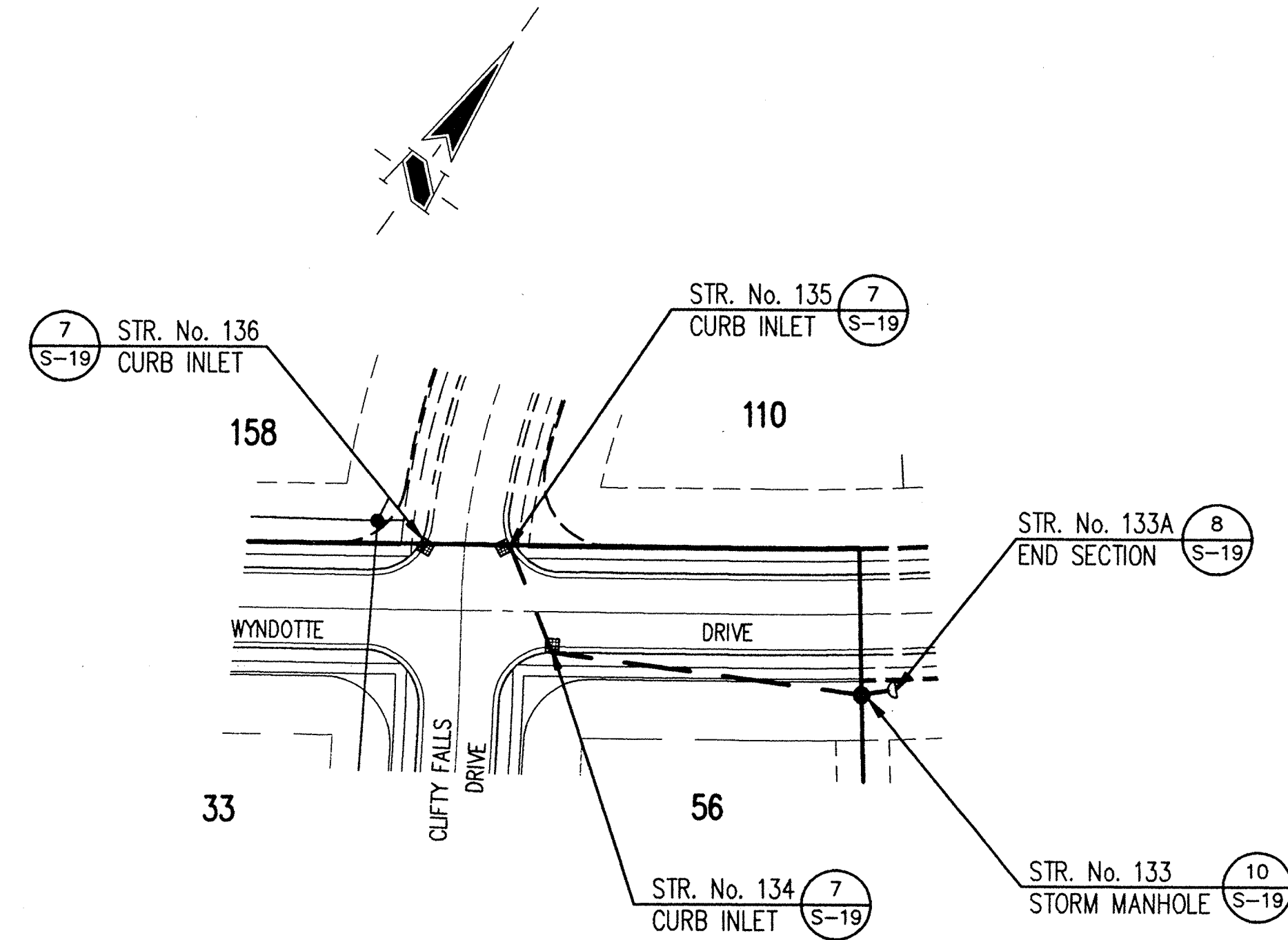
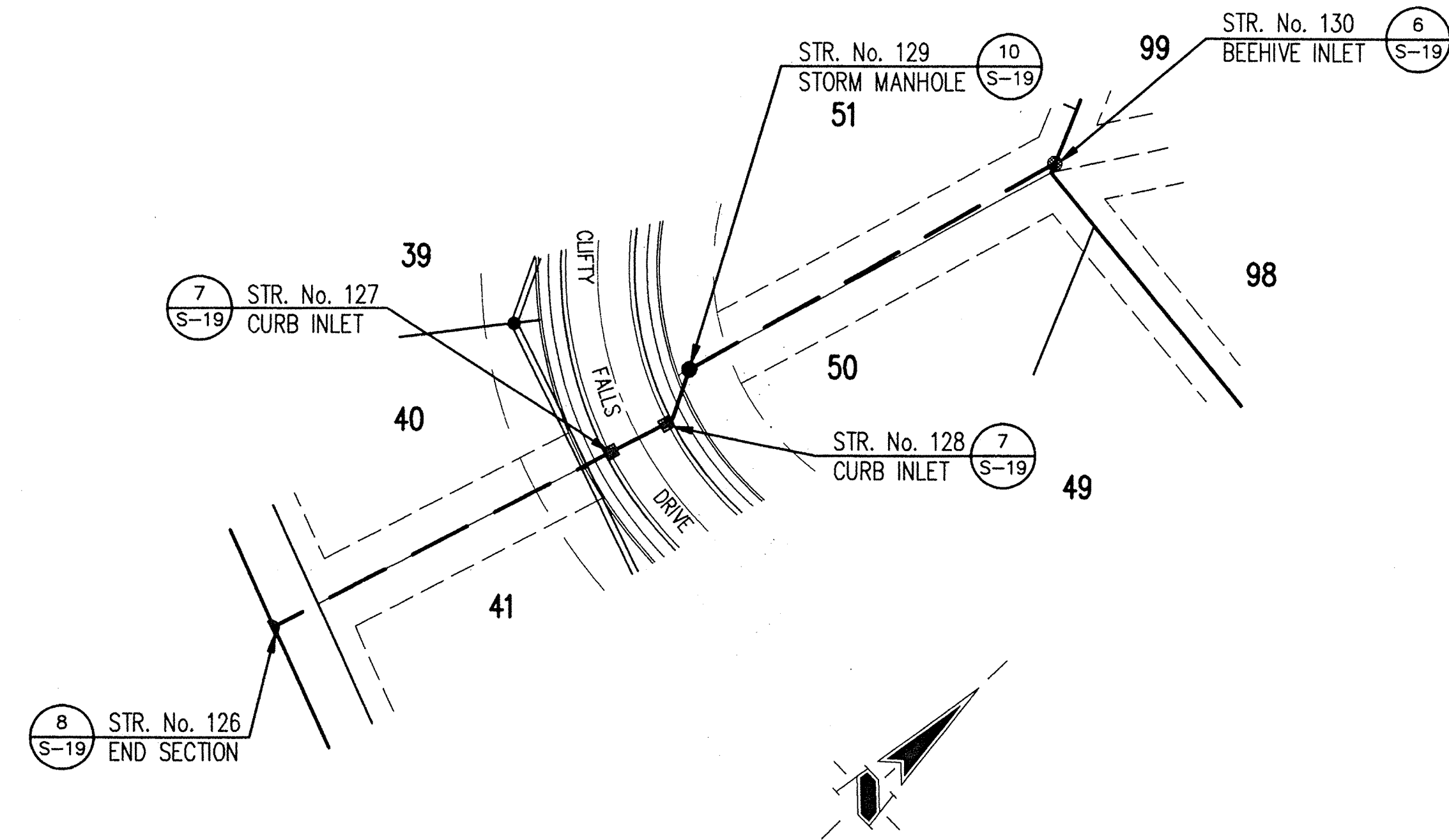
HOLEY MOLEY SAYS

"DON'T DIG BLIND"



1-800-382-5544
CALL TOLL FREE
1-800-428-5200
FOR CALLS OUTSIDE OF INDIANA

PER INDIANA STATE LAW IS-69-1991, IT IS AGAINST THE LAW TO EXCAVATE WITHOUT NOTIFYING THE UNDERGROUND LOCATION SERVICE TWO (2) WORKING DAYS BEFORE COMMENCING WORK.



GENERAL NOTES:

1. ALL CUTS ARE TAKEN FROM THE EXISTING GRADE TO THE PIPE INVERT.
2. ALL STATIONING IS TAKEN FROM THE NEAREST DOWNSTREAM STRUCTURE.
3. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO FIELD VERIFY ALL UTILITY LOCATIONS BEFORE CONSTRUCTION BEGINS.
4. TEMPORARY TRAFFIC CONTROL DURING CONSTRUCTION TO CONFORM TO APPLICABLE LOCAL AND STATE STANDARDS.
5. ALL CONSTRUCTION ACTIVITY ON THIS SITE TO BE PERFORMED IN COMPLIANCE WITH APPLICABLE O.S.H.A. STANDARDS FOR WORKER SAFETY.
6. CONTRACTOR SHALL MINIMIZE DAMAGE TO EXISTING TREES.
7. FOR STATION AND OFFSETS OF STRUCTURES SEE DEVELOPMENT PLAN.

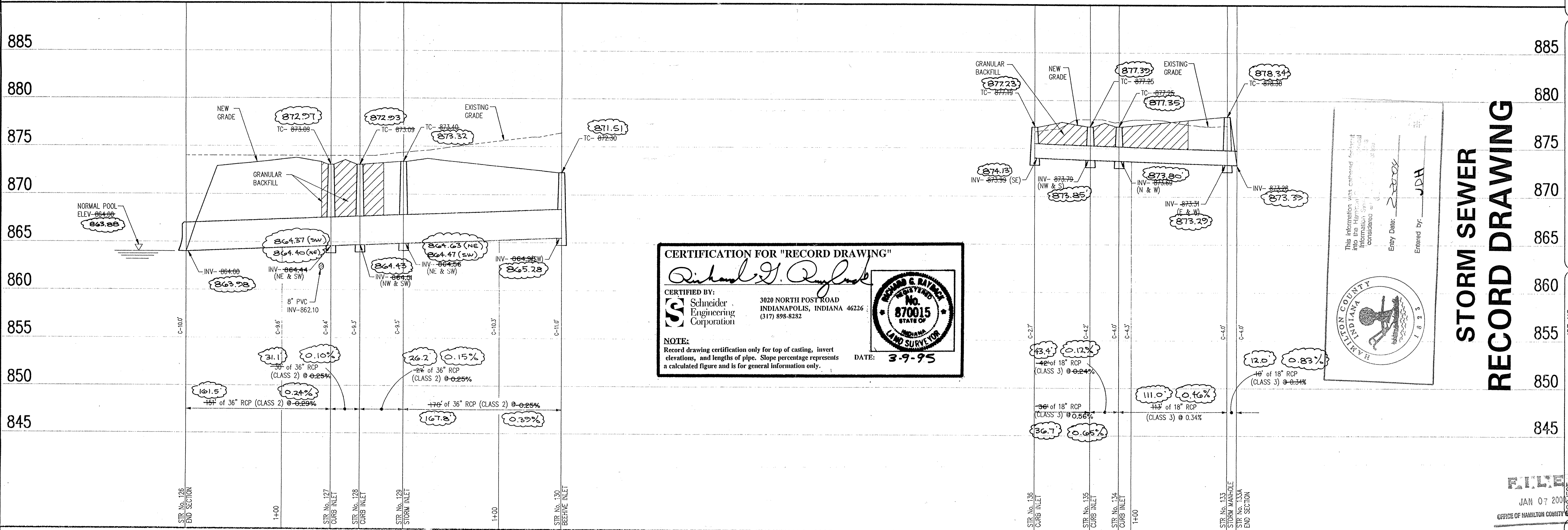
BENCHMARK

BM #V208 EL.: 870.93 CENTER OF STEEL PLATE W/CENTERLINE, CENTERLINE OF 131ST STREET & SPRING MILL ROAD.
 TM # 1 EL.: 874.95 RAILROAD SPIKE CENTERLINE, CENTERLINE OF 136TH STREET & SPRING MILL ROAD.

REVISIONS	DATE	CHECK	BY
1	4/8/94		
2	4/13/94		
3	4/13/94		
4	4/13/94		
5	4/13/94		
6	4/13/94		
7	4/13/94		
8	4/13/94		
9	4/13/94		
10	4/13/94		

STORM SEWER PLAN

SCALE: 1"=50'



CERTIFICATION FOR "RECORD DRAWING"

Certified by: *Richard G. Quigley*

Schneider Engineering Corporation
 3020 NORTH POST ROAD
 INDIANAPOLIS, INDIANA 46226
 (317) 898-8282

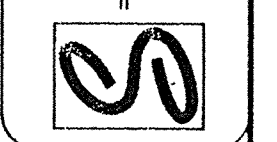
NOTE: Record drawing certification only for top of casting, invert elevations, and lengths of pipe. Slope percentage represents a calculated figure and is for general information only.

DATE: 3-9-95

Professional Engineer
 No. 870015
 STATE OF INDIANA
 LAND SURVEYOR

STORM SEWER RECORD DRAWING

SCHEIDT ENGINEERING CORPORATION
 Professional Engineers
 6885 EAST WASHINGTON AVENUE, SUITE 500
 DANVILLE, INDIANA 46122
 Telephone (317) 272-0108
 Fax (317) 272-0412



PROJECT: PARK MEADOW SECTION 1
 SHEET: S-17
 OF: 21
 TITLE: STORM SEWER PLAN

STORM SEWER PROFILE

SCALE: HORIZ.: 1"=50'
 VERT.: 1"=5'

FILE NAME: 90701543